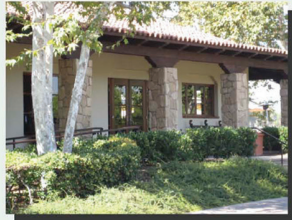


MONTEBELLO HILLS

SPECIFIC PLAN



DRAFT
March 2009



Montebello Hills Draft Specific Plan

Montebello, California

A Residential Planned Community By:
Cook Hill Properties, LLC
13 Corporate Plaza Drive, Suite 206
Newport Beach, California 92660

March 2009

Note to the Reader: A present tense of wording is used within text of the Draft Montebello Hills Specific Plan as if the document is an approved specific plan. The present tense is used in the Draft to facilitate implementation pursuant to City approval.



Montebello Hills Draft Specific Plan

Montebello, California

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March 2009

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Section 1. Executive Summary

1.1 Overview

The Montebello Hills Specific Plan is a comprehensive plan for development of a new infill residential planned community on approximately 488 acres located in the City of Montebello. The Specific Plan area is located south of Montebello Boulevard and southwest of San Gabriel Boulevard, less than one mile south of State Route 60, the Pomona Freeway. The regional setting of the Montebello Hills Specific Plan (Specific Plan) is illustrated on Exhibit 1-1, “Regional Location Map.” The Montebello Hills Specific Plan area is bounded by Montebello Boulevard on the north and west, and by San Gabriel Boulevard and Lincoln Avenue on the east. Plaza Drive crosses the northeasterly portion of the Specific Plan area as illustrated on Exhibit 1-2, “Vicinity Map.”

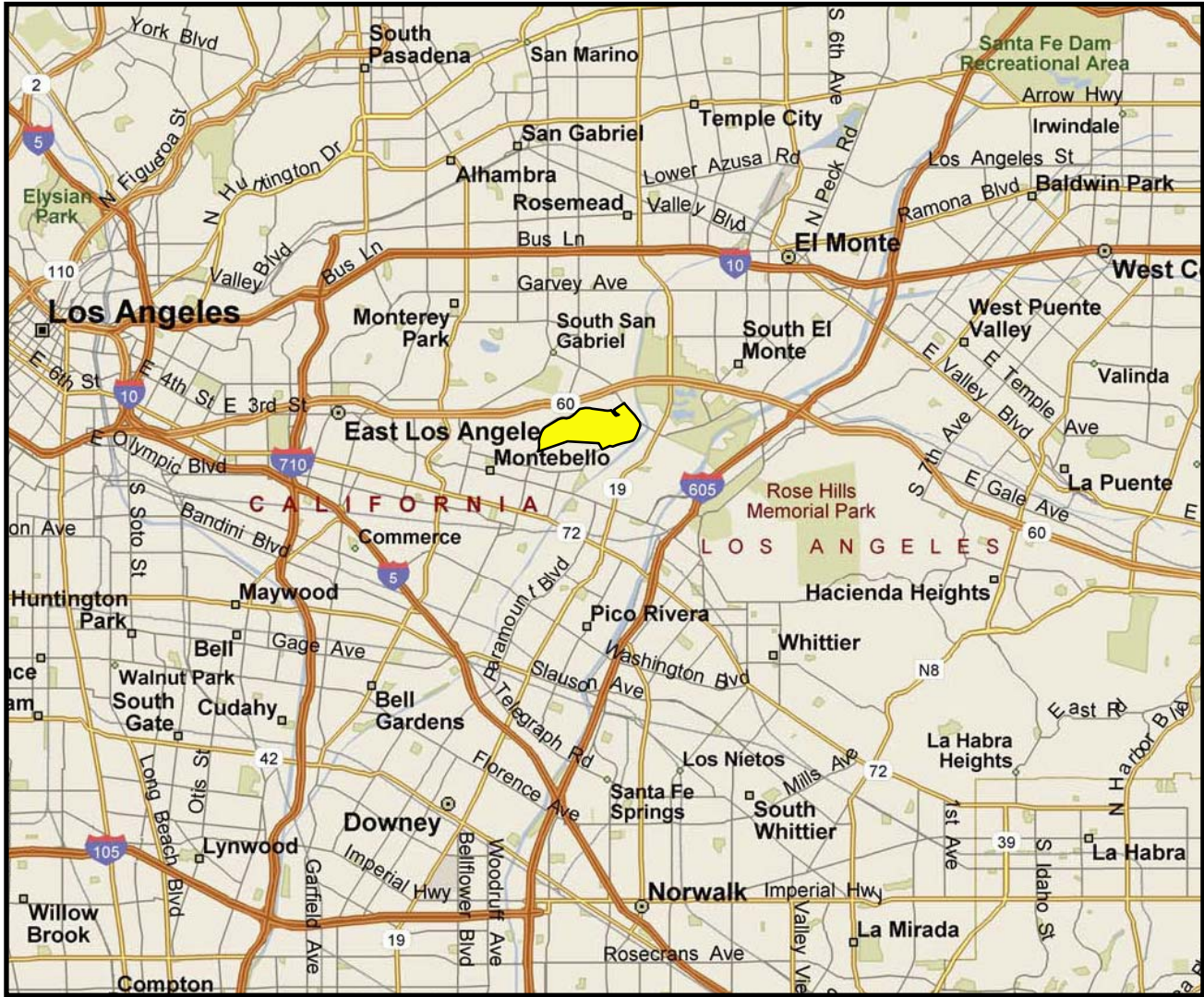
1.2 Project Setting


The Specific Plan area is currently a producing oil field, known as the Montebello Oil Field (oil field), containing active wells, a gas plant, an electrical substation, and a tank battery. Development of the oil field began in 1917, and the oil field has been producing oil and gas for 90 years. The Specific Plan area contains habitat and nesting areas for the *Polioptila californica*; gnatcatcher (California gnatcatcher), a federally listed species. The existing oil and gas development and production operations within the Specific Plan area coexist with the California gnatcatcher. The Specific Plan area is bounded on the south and west by existing residential uses, on the north by existing commercial uses, and on the east by open space uses. Additional information on the Specific Plan setting, including a detailed discussion of land uses surrounding the Specific Plan area and constraints

found within the Specific Plan area, is provided in Section 3, “Existing Conditions,” of the Specific Plan.

1.3 Comprehensive Master Plan

The comprehensive master plan for Montebello Hills is illustrated on Exhibit 1-3, “Illustrative Land Use Plan.” The master plan for Montebello Hills considers existing uses and constraints found within the Specific Plan area and addresses surrounding existing conditions. The Montebello Hills Specific Plan provides for development of up to 1,200 residential dwellings on approximately 174 gross acres of the Specific Plan area. Residential land use areas are located to create a minimum impact to California gnatcatcher habitat found within the Specific Plan area. The land use plan reserves approximately 314 gross acres as open space which includes habitat reserve areas (the Reserve) for the California gnatcatcher.

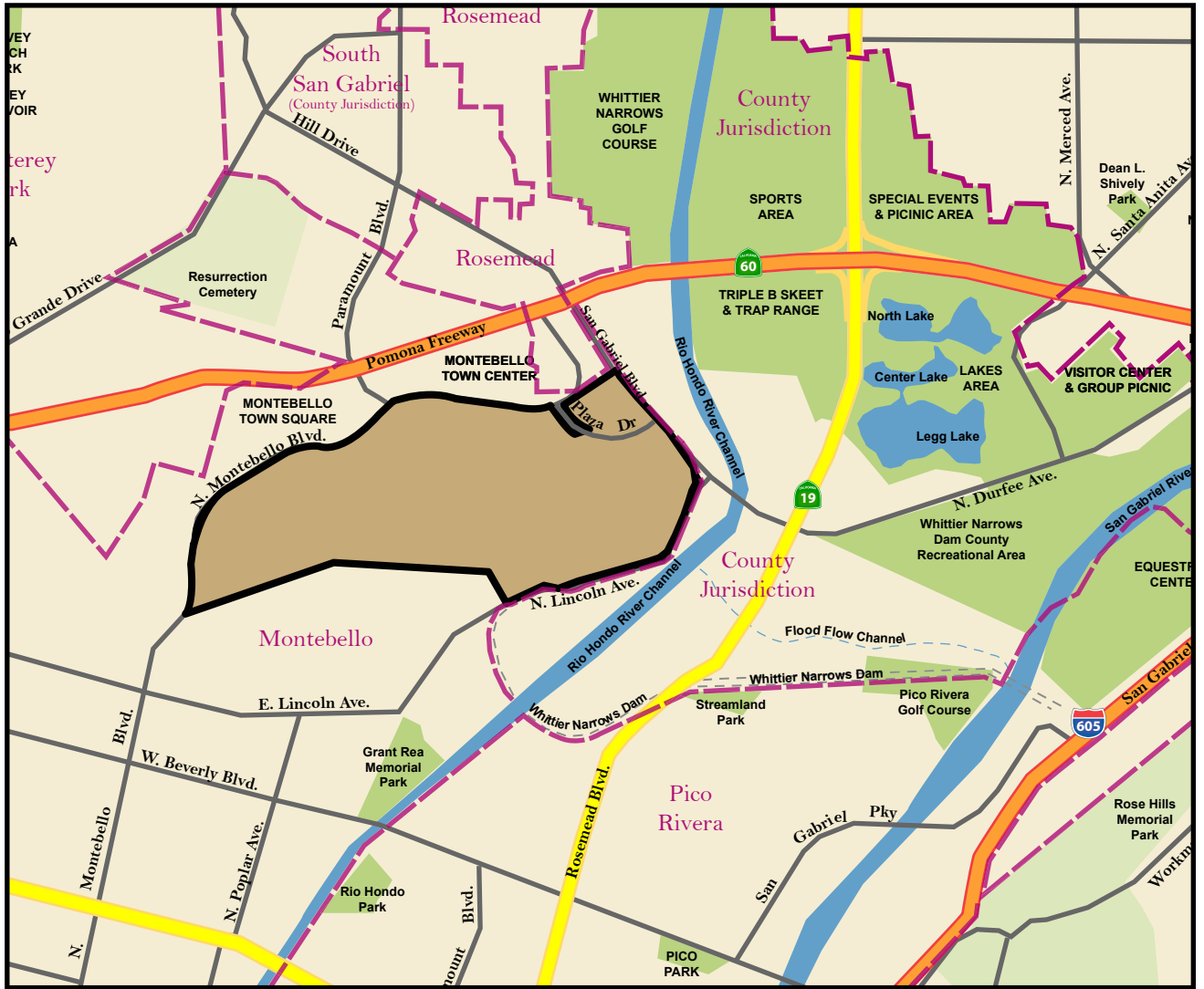


 - Specific Plan Area

Not to Scale



Exhibit 1-1
Regional Location Map



 - Specific Plan Area  - City / County Jurisdiction Boundary

Not to Scale



Exhibit 1-2
Vicinity Map

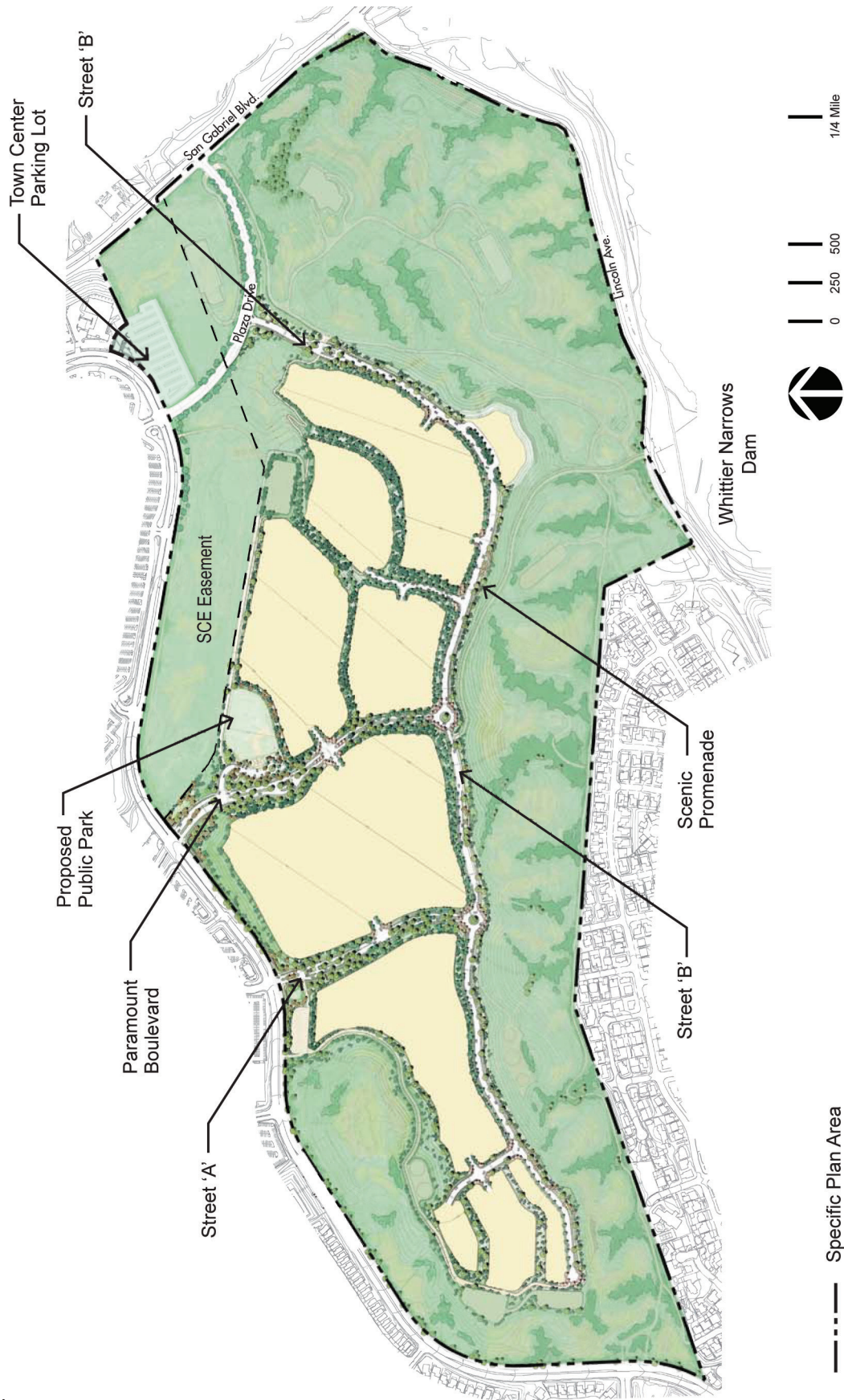


Exhibit 1-3
Illustrative Land Use Plan

1.3.1 Residential Land Use

The Montebello Hills Specific Plan designates approximately 174 gross acres for residential land use as illustrated on Exhibit 1-4, “Land Use.” The Specific Plan provides for development of a variety of housing types and styles offering new housing opportunities to meet the needs of a range of income levels and lifestyles. Montebello Hills is planned as a “walkable” community with a pedestrian friendly street system including walkways separated from the street by landscaped, tree lined parkways. Montebello Hills is the kind of place where residents can visit with neighbors while walking along shaded sidewalks throughout the community. Residences are planned to front onto public gathering places and streets enabling residents to have their “eyes on the street,” promoting a safe hometown feeling. It is a community comprised of neighborhoods offering a diversity of streetscapes and a variety of home types and architectural styles with landmarks that tell you where you are in the community. Home designs will offer opportunities for residents to create home offices, and homes will be equipped with the latest internet technology enabling residents to work and shop from home.

Approximately 5.5 gross acres will be offered for dedication to the City of Montebello for development by the City of a public park. The site is configured to provide approximately 4.3 net acres for development of park facilities. Development of all residential Planning Areas includes the provision of private parks to serve residents. A comprehensive network of publicly accessible trails is planned for development through the residential land use area and within portions of the open space. This trail system provides for bicycle and pedestrian connectivity from the community to existing public roadways allowing bicyclists and pedestrians to

continue within these roadways to commercial and recreational facilities located adjacent to the community.

Montebello Hills is designed to be compatible with the existing residential neighborhoods located adjacent to the Specific Plan area on the south and west. Open space areas are reserved adjacent to the southerly boundary of the Specific Plan area to provide a natural buffer between existing residential neighborhoods located to the south of the Specific Plan area and planned residential development. Two primary access points for the Specific Plan area are planned from Montebello Boulevard with a third access point planned at Plaza Drive. Project related traffic is directed to these three access points. Roadways will not be extended through the Specific Plan area to the south in order to prevent traffic from traversing existing residential neighborhoods located to the south of the Specific Plan area. A detailed description of the residential land use area is provided in Section 4, “Land Use,” of the Specific Plan.

1.3.2 Open Space

The Montebello Hills Specific Plan designates approximately 314 gross acres for open space as illustrated on Exhibit 1-4, “Land Use.” Open space areas are restricted in use for the Reserve, the existing Town Center parking lot, continued operation of oil field production uses, publicly accessible multi-use trails, and public facilities, including water reservoirs, water quality basins, a Southern California Gas Company gas transmission line, and a Southern California Edison Easement. Although not included as part of the proposed development authorized by the Specific Plan, the Specific Plan recognizes the continuing right of the owner of the mineral rights to conduct oil and gas production operations in the Specific Plan area pursuant to Chapter 17.44 and Chapter 5.52 of the Montebello Municipal Code and Conditional

Use Permit (CUP) 8-57, CUP 3-58, and CUP 2-58. The mineral rights owner has commenced, and will be continuing over several years, activities to modernize and utilize more efficient technologies involving abandonment of some wells, relocation of other wells and pipelines, and drilling of new wells subject to separate permits issued by the appropriate agencies and jurisdictions. No changes to the oil operations are planned or included as part of the Specific Plan.

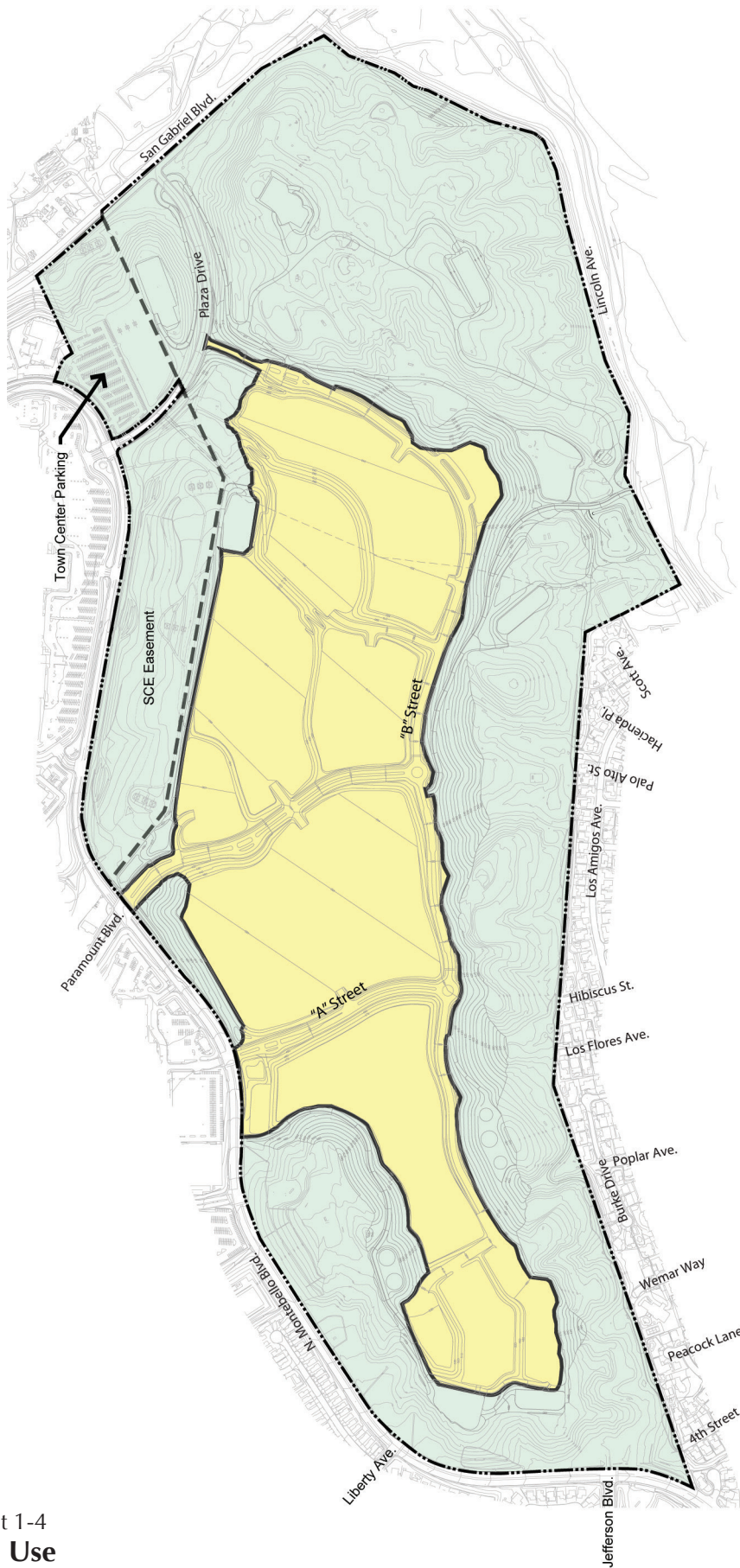
Public access to the open areas of Montebello Hills will be limited due to the fact that the open space area includes the Reserve for the California gnatcatcher. Limited public access to the open space area will be provided via a publicly accessible multi-use trail planned to extend through the Specific Plan area across portions of the open space and residential areas.

1.3.3 Public Access and Connectivity

Public access and connectivity throughout the Specific Plan area are provided through a system of trails and pathways comprised of an off-street pedestrian and bicycle multi-use trail, bicycle accessible streets, and expanded pedestrian walkways. The trail system planned for Montebello Hills provides public bicycle and pedestrian connectivity among residential neighborhoods, the public park site, and public scenic vista areas.

A signature feature of the trail system is the “Scenic Promenade,” an expanded walkway and landscaped parkway to be developed along the southerly boundary of residential development areas adjacent to open space. The “Scenic Promenade” is planned as a publicly accessible walkway with view areas providing opportunities for visitors to rest and observe scenic vistas of the open space setting of the community and views across the Los Angeles Basin as far south as the Pacific Ocean. The bicycle and pedestrian trail system planned for Montebello

Hills connects to public roadways abutting the Specific Plan area enabling residents of Montebello Hills to walk or bike from the community to existing regional recreation facilities and commercial centers surrounding the Specific Plan area. The trail system also provides public bicycle and pedestrian access through the community from Montebello Boulevard, Plaza Drive, and Lincoln Avenue allowing public access to the public park site, the “Scenic Promenade,” and to commercial destinations located north and recreational destinations located east of the Specific Plan area. A detailed discussion of the trail system planned for Montebello Hills and the connectivity provided throughout the Specific Plan area is included in Section 4, “Land Use,” and Section 5, “Infrastructure and Services,” of the Specific Plan.



1/4 Mile

0 250 500



LEGEND

--- Specific Plan Area

Residential Land Use

Open Space Land Use

Exhibit 1-4
Land Use



1.4 Creation of Additional Tax Revenues

The Montebello Hills Specific Plan area is located within the Montebello Hills Redevelopment Project Area. Currently, property tax revenues generated from the Specific Plan area flow to the Redevelopment Agency (RDA) as tax increment revenues for use by the RDA on economic development activities. The development of the Montebello Hills Specific Plan is anticipated to occur over a 5 to 10 year time frame and will result in a significant increase to the RDA tax increment revenues generated from the Specific Plan area due to the increase in assessed valuation of the property after development. Additional information on the near term and long term fiscal impacts resulting from the project is contained within the Fiscal Impact Report prepared for the Specific Plan.

The City receives annual oil production tax revenues from the current oil and gas production operations within the Specific Plan area pursuant to an existing agreement, due to expire in 2009, between the oil field mineral rights owner and the City of Montebello. Implementation of the Specific Plan allows for the continued operation of oil and gas production facilities in locations outside of residential land use areas ensuring that the City continues receiving oil production tax revenues should the agreement be renewed. In addition, enhanced sales tax revenues are anticipated as a result of new residents of Montebello Hills shopping at local commercial centers.

1.5 Public Improvements Paid for by New Development

The development of Montebello Hills pays for the construction of infrastructure and public facilities, such as water, sewer, and storm drain improvements to serve the community through developer funds and public financing districts such as Assessment Districts (ADs) or Community

Facilities Districts (CFDs). The creation of ADs and CFDs allows for the sale of bonds for purposes of funding public improvements and provides that the bonds are paid for by property owners within the Specific Plan area. The Development Agreement approved for the Montebello Hills Specific Plan will include provisions for the dedication of City required parkland and/or payment of park fees.

1.6 Purpose of the Specific Plan

The Montebello Hills Specific Plan is prepared to comprehensively plan for the development of residential and open space land uses and is designed to address the physical constraints associated with existing surrounding residential neighborhoods, the natural habitat areas found within the Specific Plan area, and the existing and continued operation of oil and gas production facilities within the Specific Plan area. The Specific Plan serves to implement the City's General Plan, as amended by the City of Montebello to adopt a General Plan land use designation of "Montebello Hills Specific Plan" for the Specific Plan area, and through the application of the policies and regulations contained within the Specific Plan designed to guide the development of the Specific Plan area. Adoption of the Montebello Hills Specific Plan by the City of Montebello includes adoption of a land use plan, an infrastructure master plan, development regulations, design guidelines, and implementation procedures to ensure that development of Montebello Hills is implemented consistent with the City's General Plan, as amended.

1.7 Governing Documents

Development of Montebello Hills is governed by the following:

- The City of Montebello General Plan, as amended, establishing a land use plan, a circulation plan, an infrastructure plan, and a park and trails master plan for the Specific Plan area, along with those existing applicable General Plan policies governing land use, circulation, population, housing, parks and recreation, open space, redevelopment, conservation, noise, seismic safety, and safety within the Montebello Hills Specific Plan area.
- The General Plan Amendment approved by the City of Montebello changing the General Plan Map, the circulation master plan, the parks and recreation plan, and the open space plan for the Specific Plan area to Montebello Hills Specific Plan in order to comprehensively plan the approximately 488 acre Specific Plan area.
- The Montebello Hills Specific Plan, which includes a Land Use Plan, Infrastructure Plan, Design Guidelines, Development Regulations, and Implementation Procedures to implement the City of Montebello General Plan, as amended.
- The Montebello Municipal Code governing development within Montebello Hills where indicated in the Specific Plan.
- The Montebello Subdivision Ordinance regulating the subdivision of land within the Montebello Hills Specific Plan.
- Covenants, Conditions, and Restrictions (CC&R's) established by the developer of Montebello Hills as a means of ensuring and enforcing quality design during development of the community and the continued maintenance of common areas.

- The Montebello Hills Development Agreement which establishes, among other things, phasing of development, timing of installation of infrastructure and public facilities, infrastructure financing, provision of parkland dedication and/or payment of park fees, maintenance of open space areas, and payment of other development related fees.

1.8 Specific Plan Components

The Specific Plan is organized into the following sections in addition to Section 1, Executive Summary.

SECTION 2. INTRODUCTION AND COMMUNITY VISION

The Introduction and Community Vision section acquaints the reader with:

- Community vision and objectives,
- The project setting,
- A general description of the project proposal,
- The goals and policies of the Specific Plan,
- The entitlements to accompany the Specific Plan,
- The relationship of the Specific Plan to the Montebello Municipal Code,
- The relationship of the Specific Plan to the City of Montebello General Plan, as amended.

SECTION 3. EXISTING CONDITIONS

The physical setting for Montebello Hills is described in this section outlining the existing physical conditions on and around the Specific Plan area.



SECTION 4. LAND USE

The Land Use Section describes residential planning areas, proposed housing types, open space areas, and the parks and trails planned within the community.

SECTION 5. INFRASTRUCTURE AND SERVICES

This section provides information on circulation improvements, planned backbone water, sewer, and storm drain systems, the grading concept for the development of the project, and public utilities serving Montebello Hills.

SECTION 6. DEVELOPMENT REGULATIONS

Development Regulations established in this section govern the permitted uses and the regulations for each land use within the Montebello Hills Specific Plan. The relationship of the Specific Plan development regulations to the Montebello Municipal Code is discussed.

SECTION 7. IMPLEMENTATION

The governing policies and procedures for the review and approval by the City of specific development proposals within the Specific Plan area are described in this section. This section provides the methods and procedures for interpreting and amending the Specific Plan, a summary of project financing, and the planned maintenance responsibilities for new development within the Specific Plan area.

SECTION 8. DESIGN GUIDELINES

The Design Guidelines are intended to direct the site planning, landscaping, and architectural quality of the development. Streetscapes, entries, edge treatments, walls and fencing, lighting, signage, and architectural design are some of the features addressed in the Design Guidelines.

SECTION 9. RELATIONSHIP TO THE CITY OF MONTEBELLO GENERAL PLAN

This section includes a discussion describing the nature of the General Plan Amendment approved for the Specific Plan area and the relationship of the Specific Plan to the City's General Plan, as amended.

SECTION 10. DEFINITIONS

The meaning of certain words, terms, and phrases used within the Specific Plan area are defined in this section.

Section 2. Introduction and Community Vision

2.1 Specific Plan Overview

The Montebello Hills Specific Plan area comprises approximately 488 acres located within the City of Montebello. The Montebello Hills Specific Plan submitted by Cook Hill Properties, LLC, the project applicant, is a comprehensive plan for development of a new infill residential community within an open space setting.

The Montebello Hills Specific Plan ensures that the development of a new residential planned community is accomplished in a cohesive manner and is adequately served by infrastructure, parks, and public facilities while also preserving California gnatcatcher habitat within a permanent Reserve. The Specific Plan area is an active oil field, and existing oil and gas production operations are planned to continue within the area. As part of ongoing oil operations, the mineral rights owner is modernizing operations to utilize more efficient technologies involving abandonment of some wells, relocation of other wells and pipelines, and drilling of new wells subject to separate permits issued by the appropriate agencies and jurisdictions. No changes to the oil operations are planned or included as part of the Specific Plan.

The Montebello Hills Specific Plan responds to the physical site characteristics within and surrounding the Specific Plan area as follows:

- Existing residential single family neighborhoods are located south and west of the Specific Plan area. Approval of the Specific Plan ensures that new development is compatible with the existing adjacent residential land uses.
- The Specific Plan area contains habitat for the California gnatcatcher. Approval of the Specific Plan ensures that an area is preserved as permanent open space providing for the continued environmental stewardship of this habitat as well as for the continued operation of oil facilities in the open space area.
- The Specific Plan provides for the development of a network of pedestrian and bicycle trails allowing for public access through the community and connecting to adjacent existing public trails and roadways adjacent to the Specific Plan area. The trail system provides opportunities for walking and biking through the Specific Plan area to regional shopping and recreational facilities and includes a “Scenic Promenade” planned as part of the trail network providing public viewing areas of open space and scenic vistas across the Los Angeles Basin as far south as the Pacific Ocean.
- The Specific Plan recognizes that the existing oil and gas operations, including the ongoing modernization of oil and gas operations, are permitted uses pursuant to the Montebello Municipal Code.

2.2 Specific Plan Purpose

The City of Montebello has determined that a specific plan is required to comprehensively plan for development within the Specific Plan area. The Specific Plan is a comprehensive plan allowing for development of new residential uses served by parks and trails while also providing for a permanent natural Reserve within open space areas. The Specific Plan ensures that adequate infrastructure and public facilities are available to serve the community.



A General Plan Amendment approved by the City of Montebello changes the General Plan land use map designations for the Specific Plan area from Residential Low Density, Residential Medium Density, Residential High Density, Residential Very High Density, and General Commercial to Montebello Hills Specific Plan, consistent with the land use plan adopted as part of the Specific Plan. The approved General Plan Amendment also changes the Circulation Element Map to illustrate the existing location of Montebello Boulevard adjacent to the northerly boundary of the Specific Plan area, to delete the extension of Jefferson Boulevard through the Specific Plan area, and to terminate Paramount Boulevard as a Major Roadway at Montebello Boulevard at the entry to the Specific Plan area. The approved General Plan Amendment changes the Park and Recreation Element Map and the Open Space Element Map designation of three sites for community and neighborhood parks and playgrounds within the Specific Plan area to reflect the land use plan approved as part of the adopted Montebello Hills Specific Plan. The Specific Plan provides a site to be offered for dedication to the City for a public park and provides for the development of a comprehensive system of publicly accessible walking and biking trails, private parks, and a private recreation facility to serve the community. The General Plan Amendment also provides a framework for any potential amendments to the Montebello Redevelopment Agency Project Area Plan (Project Area Plan) for the Specific Plan area that may be deemed necessary.

The approved Montebello Hills Specific Plan serves as the implementation tool for the General Plan, as amended through the adoption of this Specific Plan, and changes the zoning for the Specific Plan area from Residential Agriculture, Oil and Gas Production (O) District (R-A-O) to Montebello Hills Specific

Plan thereby establishing the Montebello Hills Specific Plan as the zoning governing development within the Specific Plan area.

2.3 Specific Plan Background and History

Development of the oil field at Montebello Hills began in 1917. The oil field was one of the most productive in all of Southern California at that time. At the peak of its productivity, the oil field produced a 1/8 share of all oil produced in Southern California. In 1973 the City's General Plan Map designated the Specific Plan area for development of residential and commercial land uses.

Between 1990 and 1994 Chevron Land and Development/Pacific Coast Homes pursued entitlement for development on the area now referred to as the Montebello Hills Specific Plan area. In 1990 the entitlement proposal included a plan for development of 1,945 dwelling units, 21 acres of commercial uses, a school site, and a fire station site. In 1991 the proposal was revised to include 2,041 dwelling units and 35 acres of commercial uses, with the sites for a school and fire station removed. In 1992 the proposal was again revised to include 1,673 dwelling units, 40 acres of commercial uses, and sites for a school and a fire station.

Between 1991 and 1995 the City retained the services of an independent team of consultants to create a consensus planning effort for the property. This effort resulted in the formation of the Citizens Advisory Committee (CAC) to include 125 citizens of the City of Montebello. During the period between late 1991 and 1994 the City solicited opinions from the members of the CAC and worked with various consultants in an effort to prepare a Specific Plan for development of the site which addressed the vision and goals identified by the CAC. During this time period biological studies conducted within

the Specific Plan area identified vegetation that provides suitable habitat for the California gnatcatcher. In 1993, the California gnatcatcher was listed by the Federal Government as a threatened species. The federal listing of the California gnatcatcher dramatically affected the development plan limiting the amount of development the site could accommodate while increasing the amount of area which would be required for a permanent Reserve. In December 1994 a draft of the City sponsored Specific Plan was finalized with a development plan consisting of 1,516 residential dwelling units, 25 acres of retail uses and mixed use, and 155 acres of open space. This plan was not adopted. Chevron U.S.A., Incorporated sold the property to Stocker Resources, a predecessor of Plains Exploration & Production Company, or PXP. Mineral extraction on the property was continued by PXP.

Cook Hill Properties LLC (CHP), assumed the role of developer of the Specific Plan area. In 2002, the development team commenced meetings with federal and state environmental agencies regarding development of the Specific Plan area. While these meetings continued over the next six year period, a series of technical environmental studies were prepared, including surveys of the California gnatcatcher within the Specific Plan area. Based on the conclusions of these environmental studies, an extensive revegetation effort for the protection of the California gnatcatcher was commenced.

The environmental studies prepared for the Specific Plan area formed the limits of a development area and established an area to be preserved as open space. A revised development plan was prepared for the site, and in November 2007, CHP submitted an application for a Specific Plan to the City of Montebello for development of up to 1,200 dwellings, along with parks and trails, on approximately 174 acres and the ultimate preservation of approximately 314 acres of open space.

In April of 2007, CHP began an extensive community outreach effort which is a continuing, ongoing program. The community outreach effort has included meetings with the surrounding neighbors in the La Merced and Racquet Mountain neighborhoods as well as the South Montebello neighborhoods and various interest groups in the City. Outreach and informational meetings have been held with community service clubs and organizations such as the Rotary Club, Kiwanis, Soroptimist Club, Board of Realtors, the Senior Affairs Council, Chamber of Commerce, the Lions Club, and the Historical Society. CHP has attended and participated in many civic, community, and cultural events including the Concerts in the Park, the Armenian Festival, National Hispanic Heritage Festival, the Friends of the Library, the 200th Anniversary of the Birth of Juan Matias Sanchez, the Whittier Boulevard Street Fair, and others, providing information to the public pertaining to the planning effort, the Specific Plan, and the development proposal. CHP publishes a newsletter, entitled "Planning the Vision," on a frequent basis. The newsletter is sent to all residences within the City of Montebello and provides information describing the project proposal, the project time line, and the physical and financial impacts of the project to the City. The extensive outreach program conducted by CHP is planned to continue through the public hearing process for the Specific Plan to assure the community leadership and their constituents that the details of the project and the Specific Plan are properly conveyed to the community and that CHP has used its best efforts to address the concerns of the community.

Following submittal by CHP of a Specific Plan application in November 2007, the application was deemed complete by the City in December 2007. Pursuant to the requirements and guidelines of the California Environmental Quality Act (CEQA), a Notice of Preparation was published in January 2008 informing the public and interested agencies that an Environmental Impact Report (EIR) would be prepared for the project. The City chose to conduct two public scoping meetings on the project in July 2008.

2.4 Specific Plan Vision

The vision for the Montebello Hills Specific Plan leads to development of an infill residential community which functions in harmony with the surrounding environment and embraces the fundamental tenants of “smart growth,” as described by the Urban Land Institute. The overall vision for Montebello Hills is described in this section while the details for how this vision will be carried forward are described in the individual sections of the Specific Plan that follow. The “smart growth” principles for community design described below have provided the guiding vision for the Montebello Hills Specific Plan.

1. Preserve Open Space, Natural Beauty, and Critical Environmental Area.

Approximately 314 acres, or 64%, of the Montebello Hills Specific Plan area are designated as open space. This open space area contains a Reserve for the California gnatcatcher, continued oil and gas production facilities, the existing Montebello Town Center parking lot, a Southern California Edison Easement, and infrastructure facilities. As part of the development of Montebello Hills, enhancement of the Reserve is planned. The land use plan for Montebello Hills is designed to respond to the requirements of the U.S. Fish and Wildlife

Service (USFWS) on the methods of enhancement and preservation of specific open space areas for Montebello Hills.

2. Create a Range of Housing Opportunities and Choices

The Montebello Hills Specific Plan provides for the development of a variety of housing types oriented toward walking and interaction among residents. Residential development within five Planning Areas will contain up to 1,200 residential dwelling units, providing several home styles in a mix of single family detached and residential attached housing types to meet the needs of a range of lifestyles and economic segments of the marketplace.

3. Create Walkable Neighborhoods

Montebello Hills is designed as a “walkable” community with a pedestrian friendly street system accessible to the public including walkways separated from the street by landscaped, tree lined parkways. Montebello Hills is the kind of place where neighbors can visit with one another while walking along shaded sidewalks throughout the community. Residences are planned to front onto public gathering places and streets, enabling residents to have their “eyes on the street,” promoting a safe hometown feel. Planning Areas are comprised of smaller neighborhoods offering a diversity of streetscapes and a variety of home types and architectural styles with landmarks that tell you where you are in the community. Along the southerly boundary of the residential development area, a publicly accessible “Scenic Promenade” is planned to overlook the open space area to the south. From the “Scenic Promenade” the public can stroll or bike along a scenic corridor offering views of open space and across the Los Angeles Basin as far south as the Pacific Ocean.

4. Provide a Variety of Transportation Choices

Alternative modes of travel are integrated into the design of Montebello Hills with the goal of reducing the frequency and length of vehicle trips to and from the community. Bicycle and pedestrian mobility is provided throughout the community through the development of a system of expanded pedestrian walkways adjacent to all streets, an off-street multi-use trail, and streets designed for on-street bicycle accessibility. Some bike and pedestrian trails provided within Montebello Hills are publicly accessible and connect the community to existing surrounding bike lanes and sidewalks within existing street rights of way. The trail system provides opportunities for public biking and walking from Montebello Hills to regional recreation facilities located adjacent to the Specific Plan area on the east and to regional retail commercial centers located adjacent to the Specific Plan area on the north. The trail system is planned to extend around the boundaries of residential Planning Areas adjacent to open space. Along the southerly portion of the trail system, a publicly accessible “Scenic Promenade” is planned to overlook the open space area to the south. Along the “Scenic Promenade” the public can view scenic areas across the Los Angeles Basin as far south as the Pacific Ocean. A portion of the multi-use trail extends across the open space area from the “Scenic Promenade” and connects to Lincoln Avenue offering public bicycle and pedestrian access through the community from the northern project boundary at Montebello Boulevard to the southern project boundary at Lincoln Avenue. From the project boundary bicyclists and pedestrians can continue along Lincoln Avenue to connect with the existing regional Rio Hondo Trail located south of the Specific Plan area.

Public transit serves the Specific Plan area with a primary route extending along Montebello Boulevard. The City’s Transit Center is located across Montebello Boulevard north of the Specific Plan area. As part of the development of the project, two existing bus stops may be relocated along Montebello Boulevard near the intersection of Montebello Boulevard and proposed Collector Street “A.” The existing and planned bus stops will be located within walking and biking distance of planned residential areas offering residents of Montebello Hills convenient bicycle and pedestrian access to mass transit facilities.

5. Encourage Community and Stakeholder Collaboration

Great places to live, work, and play can be created for a community through a master plan that responds to a community’s own sense of how and where development should take place. An integral part of the planning effort for the Montebello Hills Specific Plan is the continuing community outreach effort initiated by the applicant. The outreach effort yielded input from the surrounding neighbors in the La Merced and Racquet Mountain neighborhoods as well as the South Montebello neighborhoods. In addition to the reports provided by the CAC, input to the planning process has been provided by interest groups and civic organizations including the Rotary Club, Kiwanis, Soroptimist Club, Board of Realtors, the Senior Affairs Council, Chamber of Commerce, the Lions Club, and the Historical Society. As a result, the master plan for Montebello Hills has been shaped, in large part, by the input offered from these community groups. Design features addressed in the Specific Plan include:

- The retention of existing natural open space and the preservation of natural wildlife habitat areas as defining elements of the land use plan for Montebello Hills.

- Provision of an open space area along the southerly boundary of the residential land use area which serves as a natural buffer between existing residential neighborhoods and planned development of new homes.
- Provision of vehicular access to and from the Specific Plan area from Montebello Boulevard, Paramount Boulevard, and Plaza Drive. In order to prevent cut through traffic to the residential street system serving adjacent residential areas located south of the Specific Plan area, Paramount Boulevard and Jefferson Boulevard will not extend through the Specific Plan area as indicated on the existing City General Plan circulation plan.
- Provision of a site to be offered for dedication to the City for development of a public park and a plan for development of private parks within the community to serve the recreational needs of residents.
- Development of a comprehensive system of publicly accessible pedestrian and bicycle trails to include an off-street multi-use trail, expanded pedestrian sidewalks, and bicycle accessible streets which provide public access through the community from Montebello Boulevard, Lincoln Avenue, and Plaza Drive.
- Development of a publicly accessible “Scenic Promenade” as a key component of the trail system which will provide scenic vista points for the public to stop and enjoy views from Montebello Hills across open space areas and the Los Angeles Basin as far south as the Pacific Ocean.

6. Foster Distinctive, Attractive Communities with a Strong Sense of Place

A strong community identity is established for Montebello Hills through a comprehensive community design that emphasizes livability and walkability. The community design for Montebello Hills capitalizes on the distinguish-

ing open space and topographic features of the community’s natural setting. The architectural design themes selected for the community reflect the historic influences found in Montebello and throughout the southern California region. Architectural elements of homes fronting streets combined with landscaping features within the streets and entries of Montebello Hills form unifying community elements for residents instilling a sense of place and belonging.

Public pedestrian and bicycle connectivity is a fundamental community design element of Montebello Hills with a street system encouraging walking by separating sidewalks from the street with a tree lined, landscaped parkway and providing adequate area for on-street biking. A network of publicly accessible off-street, multi-use trails offers opportunities for residents to walk or bike to parks within the community, to the Whittier Narrows Regional Recreational Area located east of the community, and to nearby shopping at regional centers located north of the community. A publicly accessible “Scenic Promenade” developed along the southerly boundary of the residential development area adjacent to open space offers a passive park environment for strolling or biking along a scenic corridor with views of open space and scenic points of interest as far south as the Pacific Ocean.

A public park site to be offered for dedication to the City and to be developed by the City is suitable for active play areas, sports fields, picnic areas, and community gathering places. A private recreational facility within a residential Planning Area will be developed to include a swimming pool, spa, and a community center. Private parks developed within each residential Planning Area will include informal play areas, and social gathering areas for residents.

7. Make Development Decisions Predictable, Fair, and Cost Effective

The development of Montebello Hills will pay its own way through the construction of infrastructure and public facilities paid for by the developer and through the use of public financing mechanisms, including but not limited to, Community Facilities Districts (CFDs) and Assessment Districts (ADs) formed to construct improvements that are paid for by property owners of Montebello Hills. Maintenance of private parks, open space, trails, and landscaping within the community will be paid for by the community. Conditions of approval included with the approval of tentative tract maps for the development will require payment by the developer of the appropriate City approved impact fees.

A Fiscal Impact Analysis prepared for the project, identifies the estimated costs and revenues associated with development of the project. The analysis evaluates the short term and long term fiscal impacts to the City associated with the project.

8. Strengthen and Direct Development Towards Existing Communities

Smart growth directs development towards existing communities already served by infrastructure and encourages “infill” development, seeking to utilize the resources that existing neighborhoods offer. Smart growth principles also emphasize the conservation of open space and irreplaceable natural resources. Infill development, such as the proposed Montebello Hills Specific Plan, also reduces vehicular emissions by providing homes closer to areas of employment and shopping within an urban area, rather than in more suburban areas located farther from employment opportunities and shopping centers.

The Montebello Hills Specific Plan area is an “infill” site surrounded by substantial existing development and served by existing infrastructure. The proposed development includes plans for upgrading some existing infrastructure and the installation of new infrastructure designed to connect to existing facilities located adjacent to the Specific Plan area. The project proposal utilizes existing circulation and transportation facilities reducing the need for additional arterial and major roadway extensions or improvements to serve the Specific Plan area. The land use plan for the project is oriented to existing nearby retail centers, including the Montebello Town Center and the Montebello Town Square, located directly north of the Specific Plan area across Montebello Boulevard, and to existing mass transit routes along Montebello Boulevard and Paramount Boulevard. The proximity of the Specific Plan area within walking and biking distance to these facilities can help to reduce vehicular trips to and from the Specific Plan area.

The Montebello Hills land use plan responds to the physical characteristics and natural surroundings found within and around the Specific Plan area. The retention of existing open space and the preservation of wildlife habitat areas are defining elements leading to the creation of the land use plan for Montebello Hills. Open space areas within the Specific Plan area include a Reserve for the continued preservation of California gnatcatcher habitat in perpetuity. Preservation and enhancement of habitat areas are planned as part of the development of Montebello Hills in accordance with the requirements of the USFWS.

2.5 Specific Plan Goals, Objectives, and Policies

The community vision for Montebello Hills is achieved through the implementation of unique goals, objectives, and policies established as part of the adoption of the Specific Plan. The goals, objectives, and policies identified for the Montebello Hills Specific Plan do not change existing City General Plan goals, objectives, and policies adopted to implement the vision for the city as a whole, rather they provide the foundation for the Montebello Hills General Plan Amendment and serve to implement the vision for Montebello Hills. The goals stated below represent vision statements that can be realized through implementing objectives which follow the goal. The policies stated below the objectives reflect specific directives which development project within the Specific Plan area must comply with.

Goal 1: Create a Livable Residential Community.

Objective:

Implement a land plan for a livable, infill residential community within an open space setting incorporating a balance of land uses adequately served by parks and trails, as well as public facilities, infrastructure, and utilities. A livable infill residential community should include features such as:

- Preservation and enhancement of natural features.
- A design that promotes biking and walking.
- Opportunities for informal neighborhood interaction.
- Diverse architectural design of a high quality.
- Connectivity among neighborhoods.
- Diversity and choice of housing types that meet the needs of a variety of lifestyles and economic segments of the marketplace.

- Connectivity to parks, public recreational facilities, and nearby commercial facilities.
- Passive and active recreational opportunities located throughout the community.

Policies:

- Provide a balance of compatible and complementary residential and recreational land uses in a well designed residential master-planned community.
- Create an aesthetically pleasing and distinctive community identity with a “sense of place” through the establishment of uniform design criteria reflective of influences found within Montebello and the southern California region by comprehensively addressing the design of entries, architecture, landscaping, walls, streetscapes, signage, and other features.
- Design the project as a “walkable” community to encourage walking as an alternative to the automobile as a means of travel and to create a broader sense of community.
- Create a sense of internal community by enhancing the relationship of buildings to the street within the Specific Plan area.
- Provide a variety of detached and attached home types to meet the needs of a range of age groups, lifestyles, and income levels.
- Ensure that the design of residential Planning Areas are compatible with existing adjacent residential land uses.
- Link streets together in a pedestrian and bicycle friendly manner, connecting residential neighborhoods and parks, and providing connections to recreational and commercial facilities located near the Specific Plan area.
- Provide that infrastructure and transportation systems developed to serve the community are linked to existing infrastructure and transit facilities surrounding the community.

Goal 2: Develop a land use plan responding to the natural environmental conditions and the topography of the area.

Objective:

Address natural site features and environmental opportunities and constraints including the existing hillside terrain, existing habitat areas, and existing oil and gas production facilities as part of the community design.

Policies:

- Create a unique community setting and character through the incorporation of existing natural site features into the design of the community.
- Consider the existing topographic, geologic, and hydrologic site conditions to create a land plan that maintains and incorporates existing landforms where practical.
- Provide for adequate storm water collection facilities designed to contain on and off-site flows affecting the property.
- Provide facilities for water quality treatment.
- Implement a habitat enhancement plan through the removal of invasive and non-native vegetation and introduction of restored native habitat, and incorporate a planting plan using drought tolerant and native plant materials as a community design feature.
- Concentrate development of new residential and park uses within defined Planning Areas and buffer natural open space areas from development with fire safety zones in order to provide fire safety to development and to preserve substantial natural habitat within the Specific Plan area.
- Design a land plan to optimize view potential within the community and provide a network of publicly accessible multi-use trails to encourage public walking and biking to view

areas. Provide public accessibility to view areas through collector roadways and trails within the community.

- Provide visual and acoustical buffers such as landscaping and sound walls to reduce the impacts to residential neighborhoods from continuing oil and gas operations.

Goal 3: Create a hillside residential community of quality design, balancing the goals of protection and restoration of the natural ecosystem to provide for the health, safety, and welfare of the community, while providing for new housing opportunities to meet the needs of a variety of lifestyles and income levels.

Objective:

Create a hillside environment which incorporates the habitat requirements of state and federal resource agencies, acknowledges existing geotechnical and hydrological conditions, preserves off site views, creates public view opportunities, and provides for public accessibility to local and regional features.

Policies:

- Design and maintain the project in a way that incorporates and responds to habitat protection regulations and goals for the California gnatcatcher according to the USFWS.
- Establish and enhance a Reserve and increase habitat connectivity.
- Protect the area from hazards such as fire, flood, and erosion.
- Implement a grading concept that incorporates an undulating edge to maintain natural hillside contours.
- Provide a wide buffer between the new residential community and the existing residential community located south of the Specific

Plan area in order to preserve off-site views of the existing hillside contours and open space.

- Require varied building massing and articulated roof lines along all residential edges.
- Provide public roadways, publicly accessible off-street, multi-use trails and pedestrian paths, and bicycle accessible streets throughout the community adjacent to the protected Reserve, and offer pedestrian and bicycle access to regional recreational facilities located east of the Specific Plan area.

Goal 4: *Provide for a range of housing types to meet the needs of a variety of economic segments.*

Objective:

Anticipate market needs with a land use plan that provides for development of homes that will be marketable within the evolving economic profile of the surrounding region.

Policies:

- Provide new housing opportunities in the City by designating appropriate density ranges suitable for development of a variety of detached and attached housing types to meet the housing needs of a variety of age groups, lifestyles, and income levels.
- Provide housing opportunities for households with a wide variety of income levels within close proximity to employment centers located in the surrounding area.
- Provide for the ability to gate the Specific Plan area, and potentially, some neighborhoods within residential Planning Areas of the Specific Plan.

Goal 5: *Design residential neighborhoods in keeping with the community design goal of creating a livable residential community.*

Objective:

Incorporate the principles of livable neighborhood design into the community plan.

Policies:

- Design recognizable neighborhoods at a “human scale” by orienting homes to the street and by providing for a safe and inviting pedestrian oriented streetscape.
- Provide diversity in architectural design.
- Promote walkability within the community by providing connectivity among residential neighborhoods and parks through a network of publicly accessible expanded width pedestrian walkways and multi-use trails.
- Provide connectivity for pedestrians and bicyclists from the Specific Plan area to surrounding commercial areas and regional recreation facilities through development of a comprehensive network of multi-use trails, expanded width pedestrian paths, and bicycle accessible streets.
- Accommodate the development of a variety of housing types with a land use plan addressing lifestyle considerations of singles, families, and empty nesters.
- Orient residences around parks promoting active and passive recreational activity and casual social interaction among neighbors.
- Require diversity in architectural styles and use of traditional design elements to create an interesting and pedestrian friendly street scene.

Goal 6: Create a fiscally responsible community.

Objective:

- *Provide for new public facilities and infrastructure improvements as part of development of the community.*
- *Create potential for additional tax revenues to the City and the RDA.*

Policies:

- Provide for construction of new public infrastructure improvements adequate to serve the Specific Plan area as part of the development at no cost to the existing residents of Montebello.
- Participate in the payment of appropriate public service fees to accommodate the public service needs generated by the community.
- Provide for development that will increase tax increment revenues to the RDA and enhance sales tax revenues to the City as a result of new residents of Montebello Hills shopping locally.

Goal 7: Design a circulation system serving motorists, bicyclists, and pedestrians.

Objective:

Create a pedestrian and bicycle friendly circulation system which encourages walking and biking while providing for the safe and efficient movement of automobiles through the community.

Policies:

- Create a simple and understandable pattern of streets for the community.
- Create an inviting bicycle and pedestrian environment by incorporating publicly accessible off-street, multi-use trails and expanded

width pedestrian walkways, landscaped parkways, streets that are bicycle accessible to the public, and street separated sidewalks.

- Incorporate traffic calming techniques within the street design to include roundabouts, enhanced parkway landscaping, median landscaping, and tapered street intersections and lane entrances to influence a driver's peripheral vision and encourage motorists to reduce their driving speeds.

Goal 8: Create a strong community identity for Montebello Hills.

Objective:

Implement a community design that establishes a sense of place and a sense of community belonging.

Policies:

- Provide community wide recreational facilities and amenities including a site for a public park, a private community recreation center, a publicly accessible multi-use trail system, and private park amenities.
- Create a community identity through the use of native and drought tolerant plant materials, evocative of the southern California landscape, within project entries and streetscapes throughout the community to enhance the street scene and promote walkability.
- Create a strong sense of arrival into the project through enhanced project entries.
- Encourage outdoor activity and wellness with a plan for development of parks, trails, and a community recreation center within walking and biking distance to residences. Provide pedestrian and bicycle connectivity between residential areas and regional recreational facilities located east of the Specific Plan area through development of a publicly accessible

trail system comprised of multi-use trails, expanded width sidewalks, and bicycle accessible streets.

- Commemorate the history of Montebello for residents of Montebello Hills through the installation of informational displays at various points along the multi-use trail system and within the parks of Montebello Hills.
- Encourage walking and biking within the community through development of a local multi-use trail network, expanded width walkways, street separated sidewalks, and bicycle accessible streets.
- Create an open space setting for the community through conservation and enhancement of open space.
- Provide for public gathering places and focal points within the design of the community.

Goal 9: Incorporate sustainable features into all aspects of the community.

Objective:

Implement a community plan incorporating the fundamentals of smart growth and sustainability.

Policies:

- Design homes with opportunities to create home offices allowing people to work from home and reduce driving time and vehicle emissions.
- Incorporate native plant materials or drought tolerant plant materials into the landscaping of entries, streetscapes, and public spaces, and encourage homeowners to utilize drought tolerant plant materials in private yard areas.
- Develop a plant palette to include canopy trees to achieve natural ventilation and cooling.
- Connect residential areas to existing public transit facilities and existing commercial and business land use areas through a compre-

hensive pedestrian and bicycle trail network promoting walking and bicycling as an alternative means of travel to the automobile.

- Equip residences with the latest technology for internet access allowing residents to shop and work on-line, thereby reducing vehicle trips to employment centers and shopping.
- Utilize “Night Sky Friendly” outdoor lighting within streets, parks, trails, private outdoor spaces, public parking lots, and public gathering spaces.
- Maintain natural habitat within open space areas, and reintroduce historical indigenous habitat and plant species into open space areas.
- Reduce roadway widths, and encourage the use of non pervious materials as much as possible to minimize heat generating asphalt surfaces and surface runoff of water.
- Incorporate green building design practices wherever feasible to include the option for homeowners to purchase solar photovoltaic systems to generate electricity for household energy needs.

2.6 Specific Plan Summary

The Montebello Hills Specific Plan permits the development of residential uses and designates areas for open space within an approximately 488 acre Specific Plan area to be served by adequate circulation, infrastructure, and park and recreational amenities.

2.6.1 Residential Land Use

Residential land use is designated for approximately 174 acres of the Specific Plan area. A maximum number of dwelling units is established for each residential Planning Area, in accordance with Exhibit 4-1, “Land Use Plan.” Residential uses may be developed in a range of densities and a variety of detached and attached

housing types with a total of 1,200 residential dwelling units permitted within the Specific Plan area.

The residential land use designation also allows for a site to be dedicated to the City for public park purposes, the development of private parks, a private recreation center, and publicly accessible trails.

2.6.1.1 Residential Single Family Detached Housing Types

The Specific Plan is designed to allow for the development of the following types of single family detached housing types.

- Front loaded estate and conventional detached homes with emphasis on architectural elements fronting the street and a mix of garage configurations to minimize the appearance of garages along the street.
- Lane loaded detached cottage homes with garages placed at the rear of the lot and access provided from a private lane or drive.
- Cluster and courtyard homes designed with dwellings arrayed around a common auto court and residential entries facing either the street, a greenway, or the auto court.
- 2 Pack and 3 Pack Homes with shared side yards providing larger usable side yards and the opportunity for alternative garage set backs from the street.

2.6.1.2 Residential Attached Housing Types

The Specific Plan provides for the development of the following types of residential attached homes either on individually owned lots or as a condominium style housing.

- Paired homes which can be designed as duplex or triplex homes developed either in row configurations, maintaining an architecture forward street-scene, or courtyard configurations served by a common greencourt.
- Townhomes in a row or courtyard configuration with architecture fronting a street or greenway. In some cases garages will be located to the rear of the dwelling accessed from a private drive or lane.
- Stacked flat and greencourt home types with architecture fronting the street and, in some cases, garages located to the rear of buildings served by a private drive or lane.

2.6.2 Open Space

The Montebello Hills Specific Plan designates approximately 314 acres for open space land use. Open space areas include a Reserve, portions of the multi-use trail, continued oil and gas production facilities, the existing Montebello Town Center parking lot, and public utilities such as water quality basins, water reservoirs, telecommunications towers, and gas lines. An existing Southern California Edison easement adjacent to Montebello Boulevard is also included within the open space land use designation. Open space adjacent to the southerly boundaries of the residential land use area provides a natural buffer between planned residential development and the existing residential neighborhoods and land uses located around the Specific Plan area.

2.6.3 Pedestrian and Bicycle Trails

The Montebello Hills Specific Plan includes a publicly accessible trail system comprised of expanded pedestrian walkways, an off-street, multi-use trail, and bicycle accessible streets which provides connectivity within the Specific Plan area and to surrounding shopping, regional trails, and recreational areas. A signature feature of the trail system is the “Scenic Promenade,”

extending along the southerly boundary of the residential development area, providing public view areas for visitors to relax and enjoy the scenic vistas from Montebello Hills as far south as the Pacific Ocean. The trail system planned for Montebello Hills offers public pedestrian and bicycle access through the Specific Plan area and to destinations surrounding Montebello Hills.

2.7 Authority and Requirements of the Specific Plan

State of California Government Code, Title 7, Division 1, Chapter 3, Article 8, Sections 65450-57 grants authority to cities and counties to adopt specific plans for purposes of implementing the goals and policies of their General Plans. The Government Code specifies that specific plans may be adopted either by resolution or by ordinance, and that the specific plan is required to be consistent with the General Plan. The Government Code sets forth the minimum requirements and review procedures for specific plans including provision of a land use plan, infrastructure and public services plan, criteria and standards for development, and implementation measures. The Government Code also states that specific plans may address any other subjects, which in the judgment of the local agency, are necessary or desirable for implementation of the General Plan.

California Government Code Section 65451 sets forth the minimum requirements and review procedures for specific plans as follows:

A Specific Plan shall include a text and a diagram or diagrams which specify all of the following in detail:

- The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan;

- The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan;
- Standards and criteria by which improvements will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable, and
- A program of implementation measures including regulations, programs, public works projects, and the financing measures necessary to carry out paragraphs 1, 2, and 3 above.
- The Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan.

The Montebello Hills Specific Plan is designed to meet the requirements of the State of California Government Code.

2.8 Development Approval Components

The adoption of the Montebello Hills Specific Plan is one step in a process leading to the development of the Specific Plan area. The components of the development approval process for Montebello Hills are discussed below.

2.8.1 General Plan Amendment

A General Plan Amendment adopted by the City of Montebello changes the City's General Plan Map for the Specific Plan area to Montebello Hills Specific Plan to reflect the land use plan adopted as part of the Montebello Hills Specific Plan. The General Plan Amendment enables the City to implement new

land use policies as contained in the Specific Plan intended to implement the vision for the Specific Plan area.

The General Plan Amendment changes the Circulation Element of the General Plan as follows:

- Delete the extension of Paramount Boulevard as a designated Major Roadway within the Specific Plan area.
- Delete the extension of Jefferson Boulevard through the Specific Plan area.
- Illustrate the existing alignment of Montebello Boulevard adjacent to the Specific Plan area.

The General Plan Amendment amends the Park and Recreation Element and the Open Space Element changing the Park and Recreation plan map and the Open Space map designation of three sites for neighborhood and community parks and playgrounds within the Specific Plan area to reflect the approved land use plan for Montebello Hills. The Montebello Hills Specific Plan provides a site to be offered for dedication to the City for development of a public park, a publicly accessible trail system, and the development of private parks and a private recreation facility to meet the recreational needs of residents.

2.8.2 Specific Plan

The Montebello Hills Specific Plan, adopted by ordinance, serves as the implementation tool for the General Plan land use designation of Montebello Hills Specific Plan and provides the zoning for the Specific Plan area. The Specific Plan serves as a “blueprint” for development by establishing the distribution of land use and the criteria for development of each land use. The Specific Plan establishes the development requirements and guidelines for land development and provides for the installation of adequate infrastructure and public facilities to serve development.

2.8.3 Subdivision Maps/Final Development Plans

City approval of tentative tract maps, final maps, development plans, and other development applications as determined by the City Planner, is required to implement the Montebello Hills Specific Plan. Tentative tract maps and final development plans are required to conform to the applicable provisions of the State of California Subdivision Map Act (Government Code Section 66410 through 66499), the City’s Subdivision Ordinance, applicable provisions of the Montebello Municipal Code, and the provisions contained within the Montebello Hills Specific Plan.

2.8.4 Development Agreement

A Development Agreement, entered into pursuant to Government Code Section 65864 et seq., will accompany the Montebello Hills Specific Plan. The adopted Development Agreement will establish provisions related to phasing of development, timing of infrastructure and public facilities, infrastructure financing, provision of parks and/or park fees, maintenance of open space, and payment of other development related fees.

2.9 Relationship of the Specific Plan to the City of Montebello General Plan

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450-65457) permits the adoption and administration of a specific plan as an implementation tool for elements contained in the local general plan. Specific plans must demonstrate consistency in regulations, guidelines, and programs with the goals and policies set forth in the local general plan. A General Plan Amendment approved by the City prior to the adoption of the Specific Plan includes amendments to



certain elements of the City's General Plan. The Montebello Hills Specific Plan is consistent with the City's General Plan, as amended.

2.10 CEQA Compliance

An Environmental Impact Report (EIR), certified by the City of Montebello for the Montebello Hills Specific Plan and prepared in accordance with the California Environmental Quality Act (CEQA) and City of Montebello requirements, provides a detailed analysis of potential environmental impacts associated with the development of the Specific Plan area. The EIR includes recommended mitigation measures for the project and addresses project alternatives.

Section 3. Existing Conditions

The physical setting of the Montebello Hills Specific Plan area and existing conditions found within the Specific Plan area are described in this section.

3.1 Existing Land Use

3.1.1 Existing and Continued Oil Field Uses

The Specific Plan area currently functions as a producing oil field, known as the Montebello Oil Field (oil field), and contains active wells, a gas plant, an electrical substation, and a tank battery. Development of the oil field began in 1917, and the oil field has been producing oil and gas for 90 years. The oil field has produced over 200 million barrels of oil since its discovery, and in 2006 the oil field produced an average of about 1,800 barrels per day. Approximately 264 well bores have been developed within the oil field. Approximately 94 well bores have been abandoned, 96 are producing, 46 are used for water injection, and 28 are idle as illustrated on Exhibit 3-1, "Oil Field Uses." The wells are located throughout the oil field. An existing roadway network of mostly unpaved roads provides access to each well and to all the facilities located on-site. As part of the oil production process, by-products, including gas and water, are extracted and processed on-site. The production from the wells is sent via pipelines to central production handling facilities where the oil, water, and gas are separated. The oil is piped to storage tanks and then shipped from the oil field via an underground pipeline to refineries in the Los Angeles Basin. The water is treated and sent via pipelines to wells located throughout the oil field where it is injected back into the oil bearing rock formations. The gas is compressed and injected into a Southern California Gas

Company owned transmission pipeline which extends through the oil field from Plaza Drive to Lincoln Avenue.

These production facilities operate 24 hours per day, seven days per week. On average, 20 staff people are at the oil field each work day supporting the production and facility operations. The types of activities that occur on a regular basis include:

- Production of oil, gas, and water from wells located throughout the oil field.
- Injection of produced water into wells located throughout the oil field.
- Processing of oil production, which includes oil, water, and gas separation, gas processing, oil storage, oil shipping, and gas compression.
- General equipment inspection and maintenance at the oil/water plant, gas plant, and wells located throughout the oil field to assure the safe and environmentally compliant operation of the facilities.
- Inspection and maintenance of gathering and flow lines that are used to transport oil, gas, and produced water throughout the oil field. As the need arises, portions of various pipelines are replaced with new pipelines to assure the integrity of the pipeline system. As new wells are installed, new gathering and flow lines may need to be installed to connect the new wells to the processing equipment. Typically, these pipelines are placed above ground along the side of the existing roads and well pads.
- Cleaning out of oil tanks to remove sediment that collects at the bottom of the oil storage tanks. The material removed from the bottom of the tanks is taken to an on-site biofarm for bio-remediation consistent with all regulations of the Regional Water Quality Control Board.
- Separation of the material at the biofarm to accelerate the bio-remediation process.

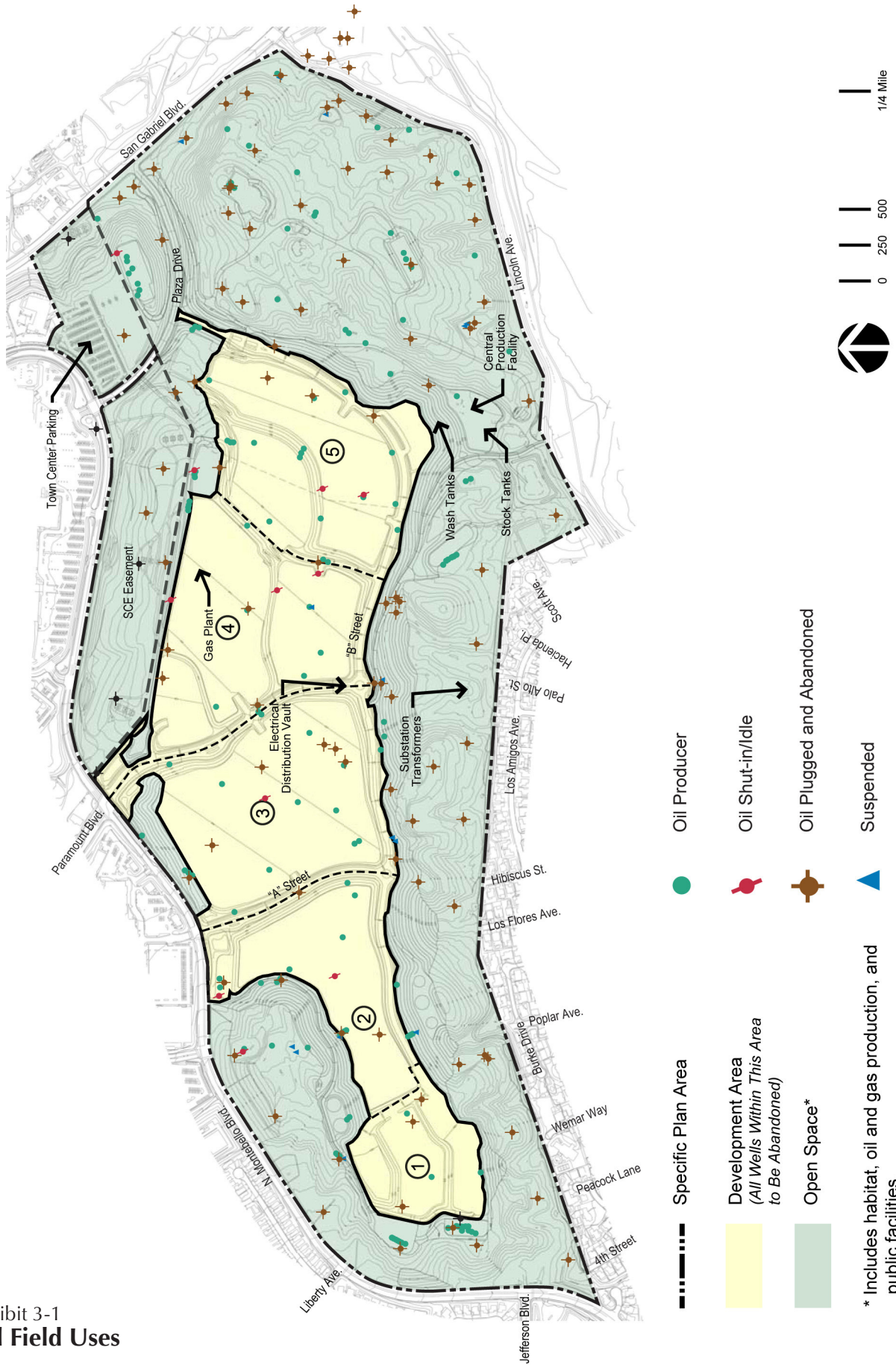


Exhibit 3-1
Oil Field Uses

* Includes habitat, oil and gas production, and public facilities.

- Repair and maintenance of the electrical and freshwater systems located throughout the oil field.
- Repair, grading, watering, and paving of roads throughout the oil field to assure safe passage of workers and equipment.

As part of on-going oil operations, the mineral rights owner is modernizing operations to utilize more efficient technologies involving abandonment of some wells, relocation of other wells and pipelines, and drilling of new wells subject to separate permits issued by the appropriate agencies and jurisdictions. No changes to oil operations are planned or included as part of the Specific Plan. Prior to grading of any phase within the residential land use area of the Specific Plan area, appropriate permits will have been obtained and all operational wells within the boundaries of the development phase will have been placed in subsurface concrete cellars. Non-operational wells and any other oil operations located within the residential land use area will have been abandoned pursuant to the requirements of the State of California Division of Oil, Gas and Geothermal Resources (Cal DOGGR). No structures will be permitted to be constructed over an abandoned well head. All new structures will be required to be setback a minimum distance of 10 feet from any abandoned well head. Soil contaminated by the historical oil field production activities will have been removed from the site or remediated on-site to meet the cleanup standards of Cal DOGGR, the Regional Water Quality Control Board, and all other agencies with jurisdiction over the cleanup. Future homeowners will be provided with notification as to the previous use of the site as an oil field and the continued oil production activities. No new wells are permitted within any Planning Area.

Access to operational well sites placed underground will be provided from public, perimeter streets located outside of the residential land use

area. Well service rigs can access well sites without encroaching onto public rights-of-way or private lots within the residential land use area. All habitable areas are required to be located a minimum distance of 100 feet from the well head of an operating oil well. All operational pipelines within the residential development area will be located underground, outside of residential lots, and constructed consistent with Cal DOGGR regulations. Operating equipment is required to be noise attenuated to meet City standards for exterior noise levels. All oil operations will be monitored in accordance with Cal DOGGR regulations.

Each drill site and processing facility will be equipped with fire and gas detectors that will automatically shut down the site in the event of a fire, gas, or oil leak. Each drill site and processing facility is equipped with fire control measures and spill containment capability. Pressure sensors on the gathering lines are designed to shut down well operations in the event of a fluid or gas leak within a production line, and the entire field will be shut down in the event of a major seismic event.

As part of oil facilities modernization, the gas plant which serves oil field operations is in the process of being relocated to east of the residential land use area boundary within open space areas. The existing Southern California Gas Company owned pipeline is planned for relocation by the Southern California Gas Company to the eastern portion of the Specific Plan area within designated open space areas of Montebello Hills so that this line will not interfere with the drilling of Oil Pad Numbers 1 and 5 and associated oil field infrastructure.

Produced oil is processed through on-site Central Processing Facilities in order to render it merchantable. The processed oil is then transported into a Chevron Corporation 8 inch pipeline that exits through the southern edge of

the Specific Plan area. This line connects into a Chevron Corporation pipeline system extending through the Los Angeles basin to local refineries.

Areas containing continued oil and gas production facilities within the open space areas of the Specific Plan area are illustrated on Exhibit 3-2, "Continued Oil and Gas Production Facilities."

3.1.2 Other Existing Site Features

The Specific Plan area contains an existing Southern California Edison Easement of approximately 43.6 acres located adjacent to Montebello Boulevard. The easement contains power lines extending generally in an east to west alignment. One of the existing power lines is planned to be expanded by Southern California Edison from a 220 kv to a 500 kv power line. This easement area also contains habitat for the California gnatcatcher and is designated for open space use within the Montebello Hills Specific Plan.

The existing Montebello Town Center parking lot is located within the Specific Plan area adjacent to Montebello Boulevard. The parking lot area is developed on land leased from the applicant. The parking lot area is designated for open space use, and, in the event the area is no longer used for a parking lot, this area will be restored as open space.

3.2 Surrounding Land Use

The Specific Plan area is an infill site located within an established urban setting with residential development abutting the Specific Plan area on the west and south. Commercial developments, including the Montebello Town Center and the Montebello Town Square, are located adjacent to the Specific Plan area on the north. The Rio Hondo Wash is located directly southeast of the Specific Plan area, and the Whittier Narrows Recreation Area is located east of the

Specific Plan area providing recreational amenities which include a golf course, jogging and equestrian trails, an equestrian center, nature center, fishing, soccer fields, dog show area, tennis courts, athletic area, rifle and pistol range, model hobby area, skeet and trap range, archery area, and a sporting dog area. The proximity of the Whittier Narrows Recreation Area offers recreational opportunities close by the Specific Plan area. The Rio Hondo River Bike Trail, a Class 1 regional bike trail, is located adjacent to a portion of the easterly boundary of the Specific Plan area. The Rio Hondo River Bike Trail extends north from the vicinity of the Specific Plan area, crosses San Gabriel Boulevard, terminating at Live Oak Boulevard in Temple City, and extends south along the Rio Hondo River, connecting with the Los Angeles River Trail, and continuing south to Long Beach. Land uses surrounding the Specific Plan area are illustrated in Exhibit 3-3, "Surrounding Land Use."

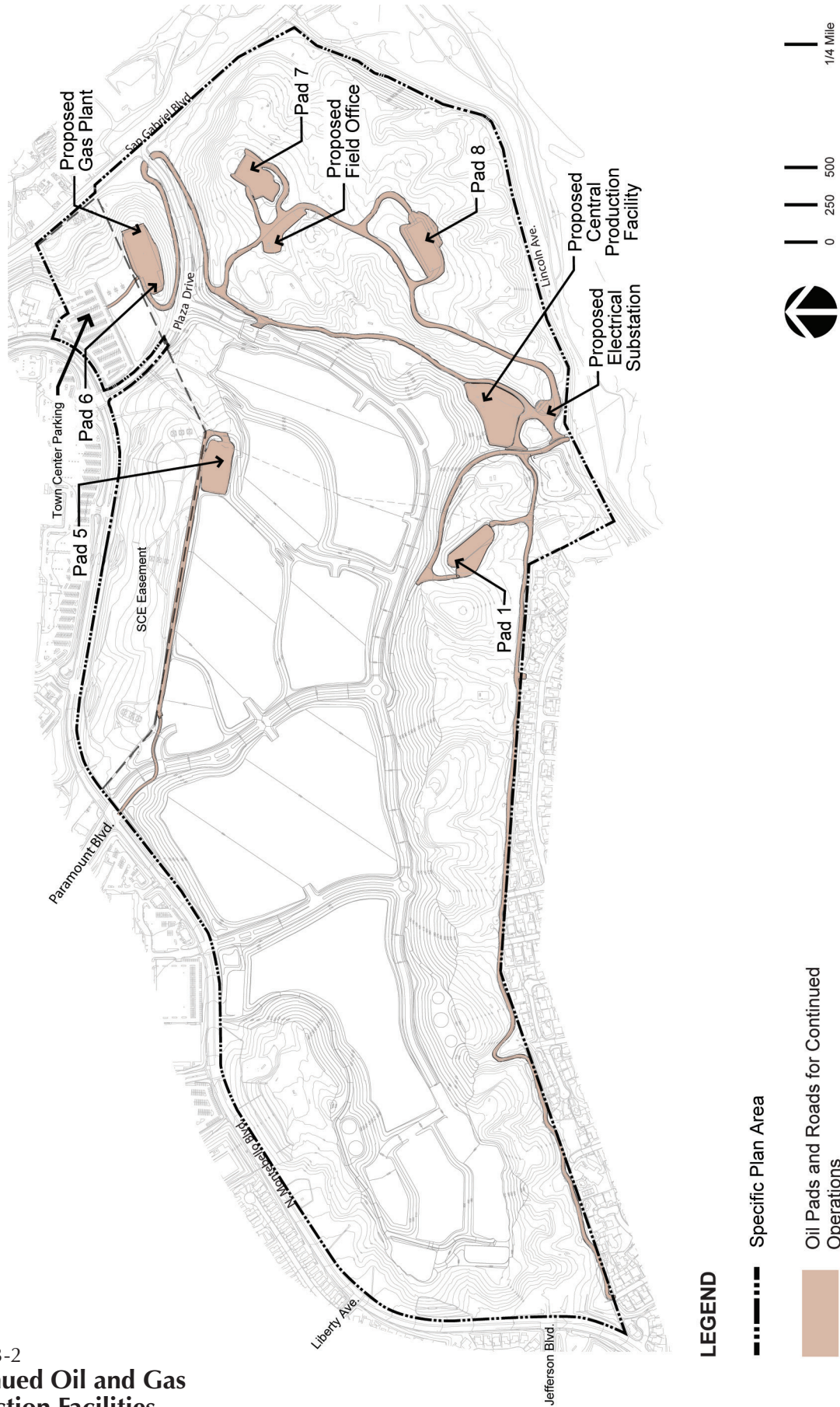
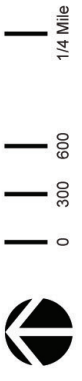
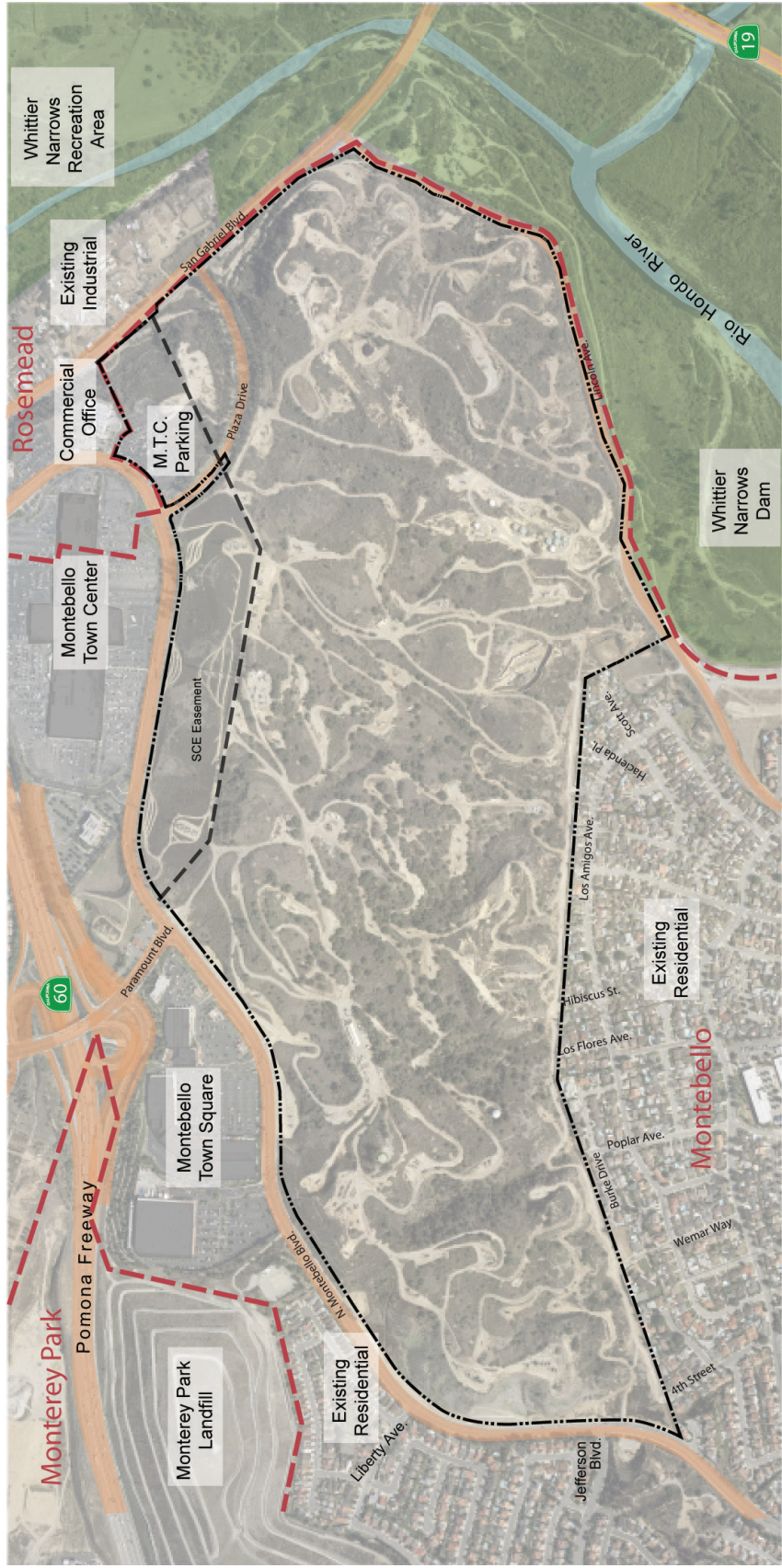


Exhibit 3-2
**Continued Oil and Gas
 Production Facilities**



LEGEND

- Specific Plan Area
- City Boundaries

Exhibit 3-3
Surrounding Land Use

3.3 Existing Access and Circulation

Regional access to the Specific Plan area is provided from State Route 60 which is located less than one mile north of the Specific Plan area. San Gabriel Boulevard and Paramount Boulevard provide existing vehicular access points to the site from the 60 Freeway.

Primary access to the Specific Plan area is provided from an entry at the intersection of Paramount Boulevard and Montebello Boulevard. Montebello Boulevard abuts the Specific Plan area on the north and northwest. The City's General Plan designates Montebello Boulevard as a Major Roadway. Existing improvements to Montebello Boulevard consist of two east bound travel lanes, two west bound travel lanes, a striped median, and an additional third west bound travel lane provided west of the intersection of Paramount Boulevard.

Lincoln Avenue, a General Plan designated Secondary Roadway, abuts the Specific Plan area on the southeast. Lincoln Avenue is currently improved with one paved travel lane in each direction. Improvements to Lincoln Avenue are not proposed as part of the development of the Specific Plan area. The roadway is affected by physical and legal constraints and is located within the ownership of the U.S. Army Corps of Engineers. The roadway is located within the flood plain making improvements to raise or widen the roadway infeasible without impacting the capacity of the Rio Hondo Dam. Additionally, Lincoln Avenue cannot be widened without affecting critical California gnat-catcher habitat.

San Gabriel Boulevard, a General Plan designated Major Roadway, abuts the Specific Plan area on the east and is improved with two travel lanes in each direction. Paramount Boulevard intersects with the Specific Plan area from the north providing the primary existing entry to the Specific Plan area. Plaza Drive transects the Specific Plan area between Montebello Boulevard and San Gabriel Boulevard. Plaza Drive is improved with two paved travel lanes in each direction. Existing access and circulation systems serving the Specific Plan area are illustrated on Exhibit 3-4, "Existing Circulation."

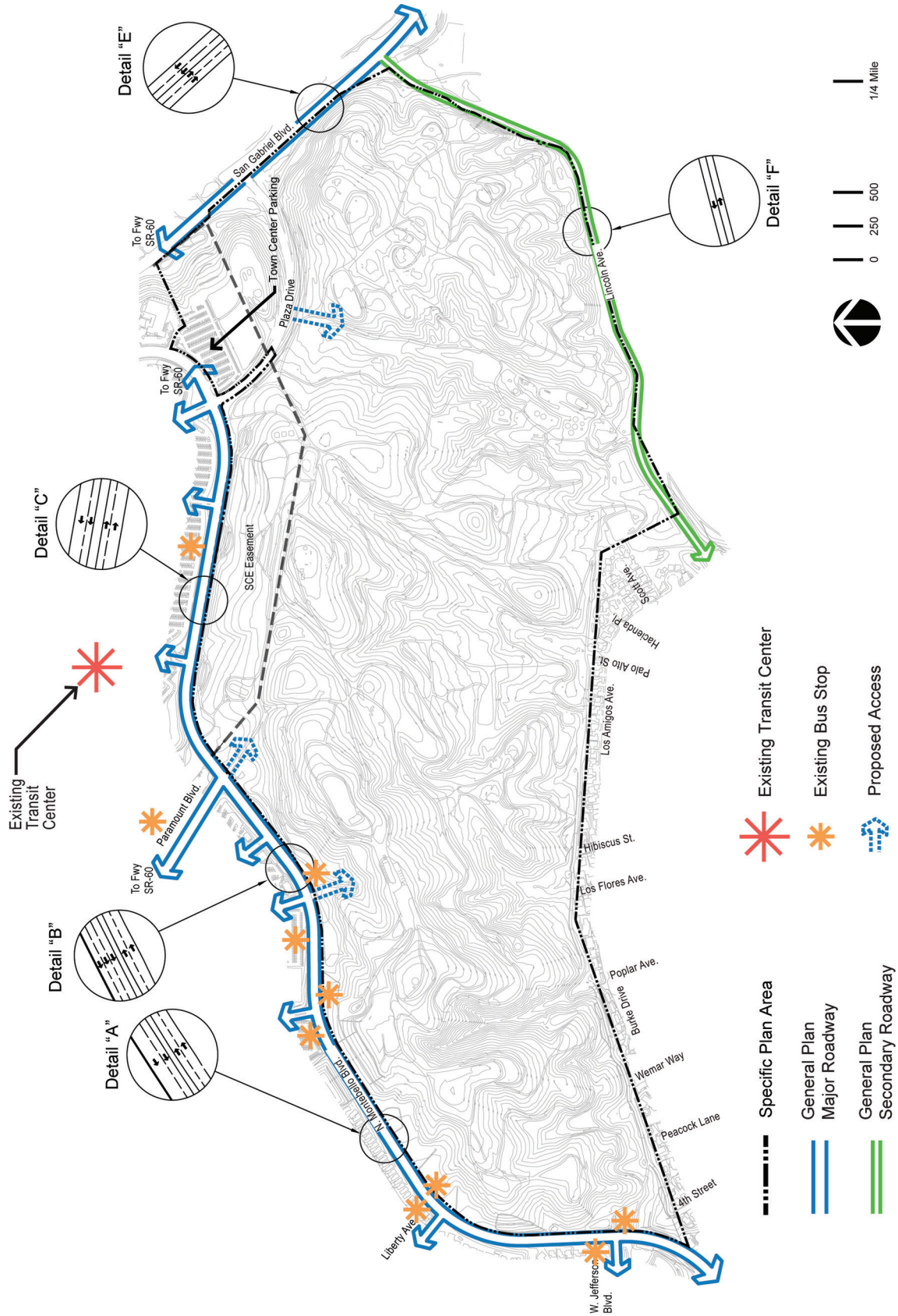


Exhibit 3-4
Existing Circulation

3.4 Infrastructure

Several existing infrastructure facilities serve the Specific Plan area as discussed below and as illustrated on Exhibit 3-5, "Existing Infrastructure."

3.4.1 Sewer

Sewer improvements adjacent to the Specific Plan area include an existing 18 inch Los Angeles County Sanitation District (LACSD) sewer main, located within San Gabriel Boulevard, and an 8 inch City of Montebello (City) sewer main located in Montebello Boulevard. No on-site sewer exists.

3.4.2 Water

The Specific Plan area is served by the San Gabriel Valley Water Company (SGVWC). Existing water mains adjacent to the Specific Plan area include a 17 inch City water main located within Montebello Boulevard, a 16 inch water main maintained by the SGVWC, extending from an existing water tank through the Specific Plan area to serve the residential development located to the south of the Specific Plan area, and a 30 inch SGVWC water main located within Lincoln Avenue.

Within the Specific Plan area water is used for general oil field operations including the mixing of drilling mud, landscaping irrigation, and general sanitary purposes including a septic leach field. Bottled drinking water is supplied to the field office from a commercial water supplier.

San Gabriel Valley Water Company facilities utilized for oil field operations include the use of the M3 Tank located in the southerly portion of the Specific Plan area above the La Merced neighborhood. A 4 inch meter and line is used to pump water uphill to a 750 barrel tank located at the high point of the oil field from which gravity flow lines of varying sizes extend throughout the oil field for general oil field operations.

A second 4 inch meter and line sourcing from this location furnishes landscape irrigation water to the westerly approximately two-thirds of the oil field. A 6 inch meter located 50 yards north of Plaza Drive at a point of connection to the SGVWC line located in San Gabriel Boulevard feeds two 4 inch meters at the top of the hill, one of which is used for landscape irrigation with the other used for oil field needs.

Southern California Water Company facilities located within the Specific Plan area used for oil field purposes include a fire hydrant, located along Montebello Boulevard just west of the Paramount Boulevard entrance to the Specific Plan area, and a fire hydrant located along Montebello Boulevard just east of the Paramount Boulevard entrance to the Specific Plan area.

Water produced from oil field operations is separated from fluids produced by wells at Central Processing Facilities and re-injected subsurface through injection wells located throughout the oil field in order to maintain oil field reservoir pressure. All produced water is recycled and no fresh water is added. Daily production/injection volume currently averages 75,000 barrels per day.

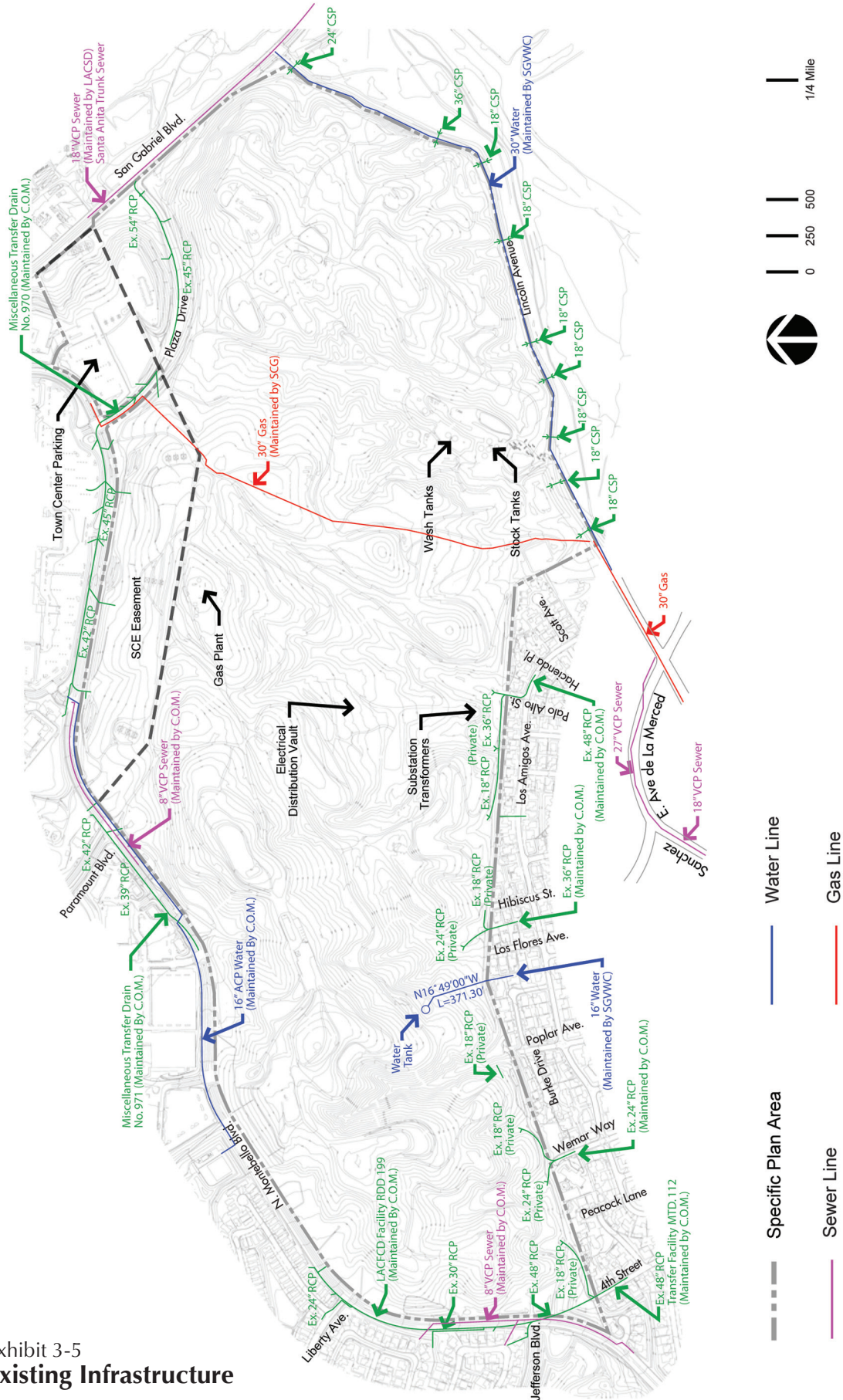


Exhibit 3-5
Existing Infrastructure

3.4.3 Storm Drainage

Existing City storm drain improvements within and adjacent to the Specific Plan area include a storm drain, varying in dimension from 24 inches to 45 inches within Montebello Boulevard, and a 45 inch storm drain, increasing to 54 inches within Plaza Drive. An existing 48 inch City storm drain extends across the Specific Plan area at the southwesterly corner of the Specific Plan area continuing in a southeasterly direction within 4th Street, a residential street terminating at the southerly boundary of the Specific Plan area. Several storm drains of varying dimensions, maintained by the City and the County, exist within residential streets terminating at the southerly boundary of the Specific Plan area. The construction by the mineral rights owner of the “Southern Edge Road and Drainage Improvement Project” in late 2006 and early 2007 mitigated storm water sheet flow along the western one mile of the southerly edge of the oil field located immediately above the La Merced neighborhood. This project included construction of eight new inlet structures that tie into five different City or County storm drain lines. In addition, an inlet structure to the storm drain serving drainage immediately east of this project was improved.

3.4.4 Gas

A 30 inch Southern California Gas Company owned high pressure gas line extends below ground from Plaza Drive, through the Specific Plan area, to connect to an existing 30 inch gas line within Lincoln Avenue. The Southern California Gas Company (Gas Company) is in the process of planning for the relocation of this line due to its interference with drilling operations on Oil Pad Numbers 1 and 5. For this reason the Gas Company will abandon this line and install a new gas line within the easterly portion of the Specific Plan area. The Gas Company anticipates the abandonment of the

existing gas line and installation of the new gas line to be completed prior to commencement of grading activities associated with development in this area.

3.4.5 On Site Utilities

Telephone service to the oil field is provided by AT&T. Electricity to the oil field is provided by Southern California Edison. There is no natural gas service provided to the oil field.

3.5 Topography

The Specific Plan area is located on hillside terrain consisting predominantly of slopes varying between 15 to 20 percent, tending toward the south and southeast. Elevations range from 598 feet above sea level in the northwest corner of the Specific Plan area to 210 feet above sea level in the southeastern portion of the Specific Plan area. The Specific Plan area offers views of Catalina Island, the Palos Verdes Peninsula, the City of Montebello, and of the surrounding foothill communities including Pasadena and Sierra Madre. From the portion of the Specific Plan area adjacent to the Montebello Town Center, there are vistas toward the San Gabriel Mountains to the northeast and easterly toward the Pomona Freeway corridor. Topographic conditions within the Specific Plan area are illustrated on Exhibit 3-6, “Existing Topography.”

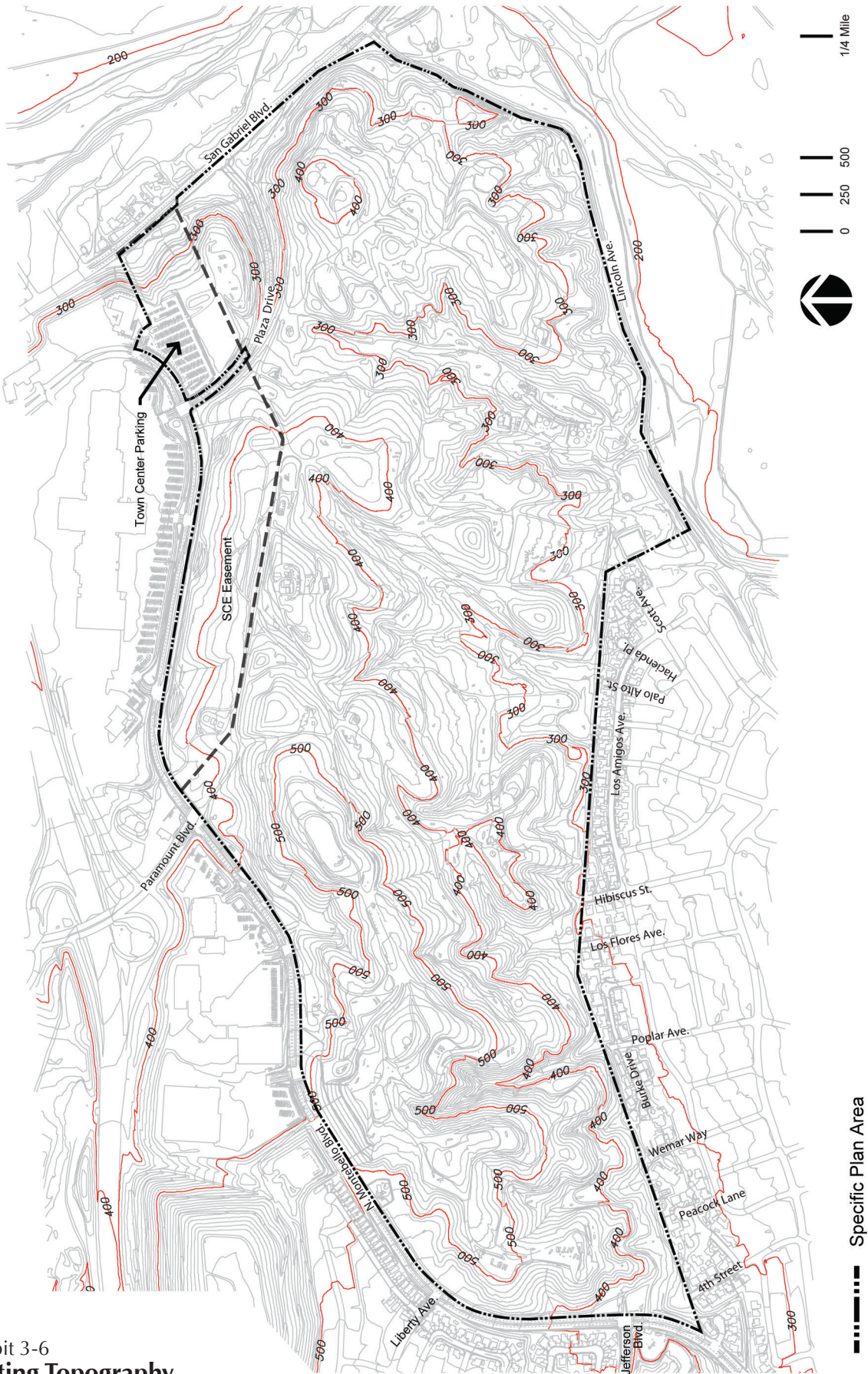


Exhibit 3-6
Existing Topography

3.6 Vegetation and Biological Features

The Specific Plan area contains habitat and nesting areas for the California gnatcatcher. Surveys conducted within the Specific Plan area over the past 10 years indicate the California gnatcatcher occupies portions of the Specific Plan area. The existing oil and gas development and production operations within the Specific Plan area coexist with the California gnatcatcher.

A large portion of the Specific Plan area consists of disturbed ruderal vegetation or non-native trees. The predominant vegetation found on other portions of the Specific Plan area consists of Coastal Sage Scrub (CSS) of varying quality.

Additional biological analysis prepared for the Montebello Hills Specific Plan is included in the Environmental Impact Report (EIR) prepared for the project. The design of the Montebello Hills Specific Plan incorporates the requirements of the USFWS for enhancement and preservation of habitat for the California gnatcatcher within the Specific Plan area.

Exhibit 3-7, "Vegetation Types, 2008" illustrates the habitat types and distribution within the Specific Plan area. Undeveloped portions of the Specific Plan area will continue to be used for oil and gas operations, infrastructure, and as a Reserve for the existing California gnatcatcher population.



Exhibit 3-7
Vegetation Types, 2008

3.7 General Plan and Zoning

The City of Montebello General Plan Map designates the Specific Plan area for the following land uses as illustrated on Exhibit 3-8, “Existing City of Montebello General Plan Map, 1973.”

Residential Low Density – Approximately 342 acres with a maximum density of 4.5 dwelling units per gross acre.

Residential Medium Density – Approximately 44 acres with a maximum density of 10.0 dwelling units per gross acre.

Residential High Density – Approximately 38 acres at a maximum density of 14.0 dwelling units per gross acre.

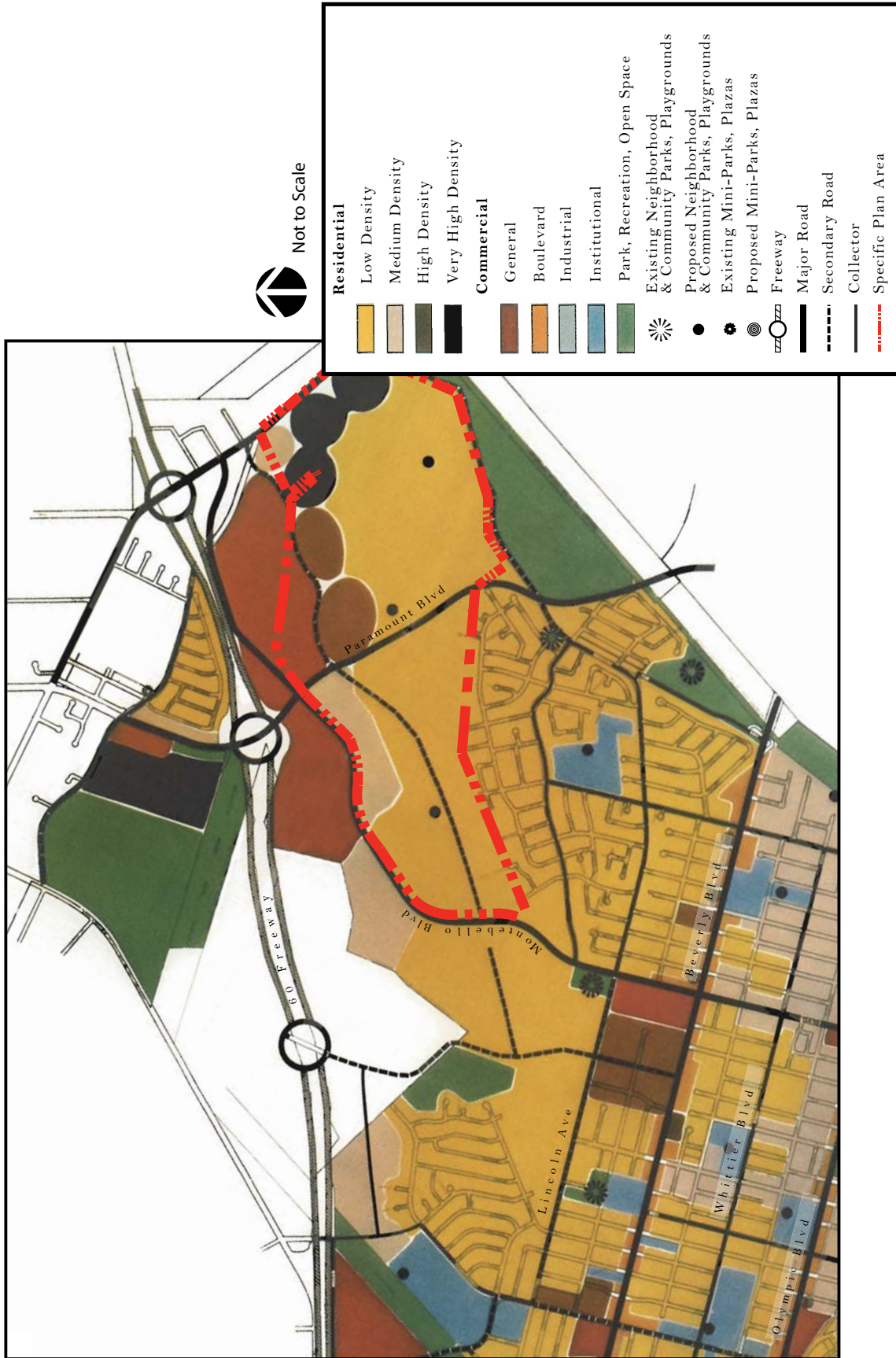
Residential Very High Density – Approximately 41 acres at a maximum density of 35.0 dwelling units per gross acre.

General Commercial – Approximately 22 acres designated for clustered shopping centers of neighborhood, community, or regional importance.

In order to determine an estimate of the maximum number of dwelling units permitted within the Specific Plan area, the total number of acres within each General Plan land use designation

was multiplied by the highest density permitted for that land use designation. Based upon the existing City of Montebello 1973 General Plan, up to 3,946 residential dwelling units could be permitted within the Specific Plan area. Areas designated on the City’s General Plan Map as General Commercial land use are located within the Southern California Edison Easement area. Development of commercial uses within the Southern California Edison Easement is not feasible due to the general policies of Southern California Edison prohibiting development of commercial structures within their power line easements.

The Specific Plan area is zoned Residential Agriculture, Oil and Gas Production (O) District (R-A-O). The existing zoning for the Specific Plan area is illustrated in Exhibit 3-9, “Existing City of Montebello Zoning Map, 2007.”



Note: The General Plan Land Use Map exhibit has been modified to include street names for reader orientation.

Exhibit 3-8
Existing City of Montebello General Plan Map, 1973

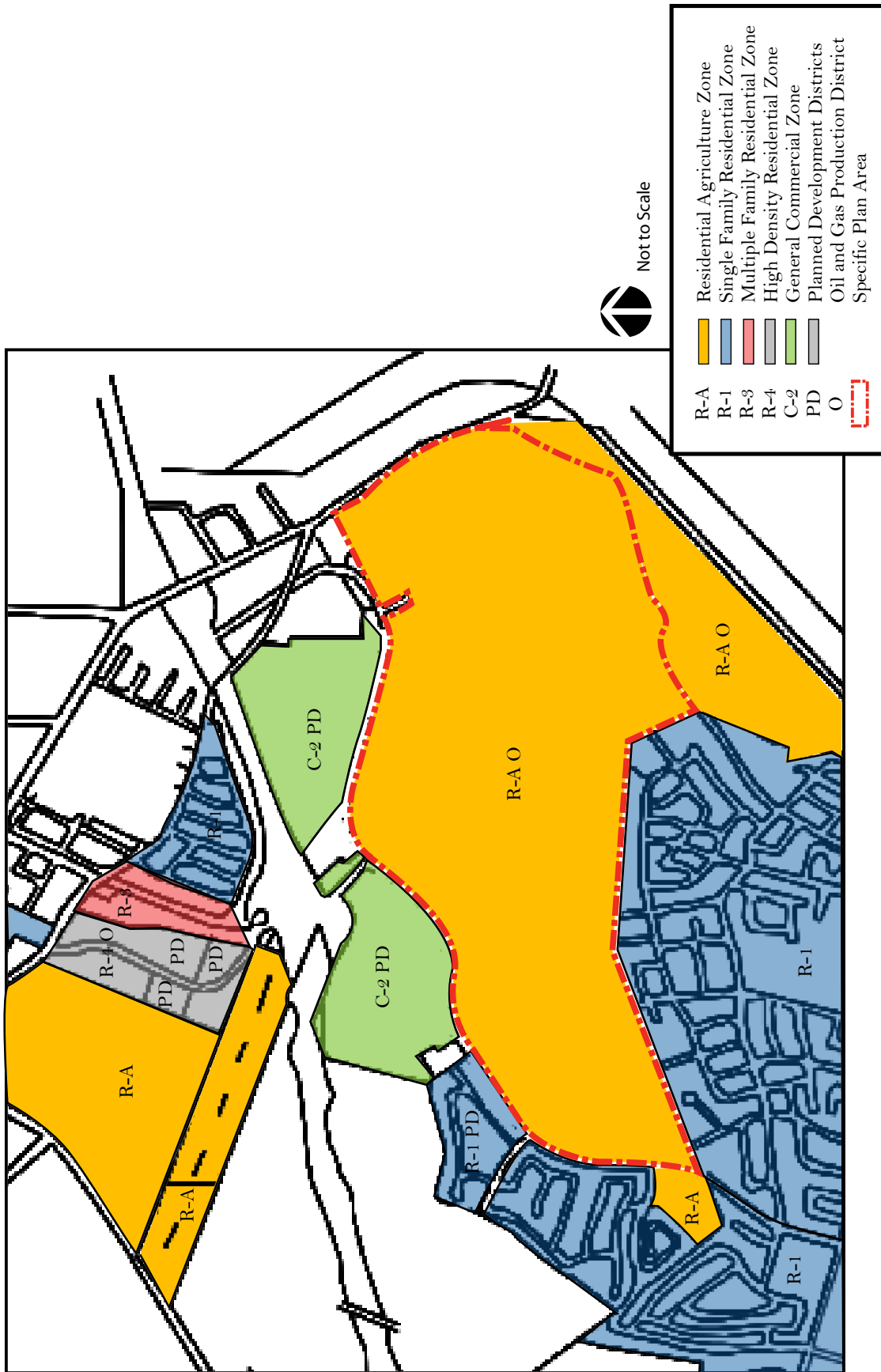


Exhibit 3-9
Existing City of Montebello Zoning Map, 2007

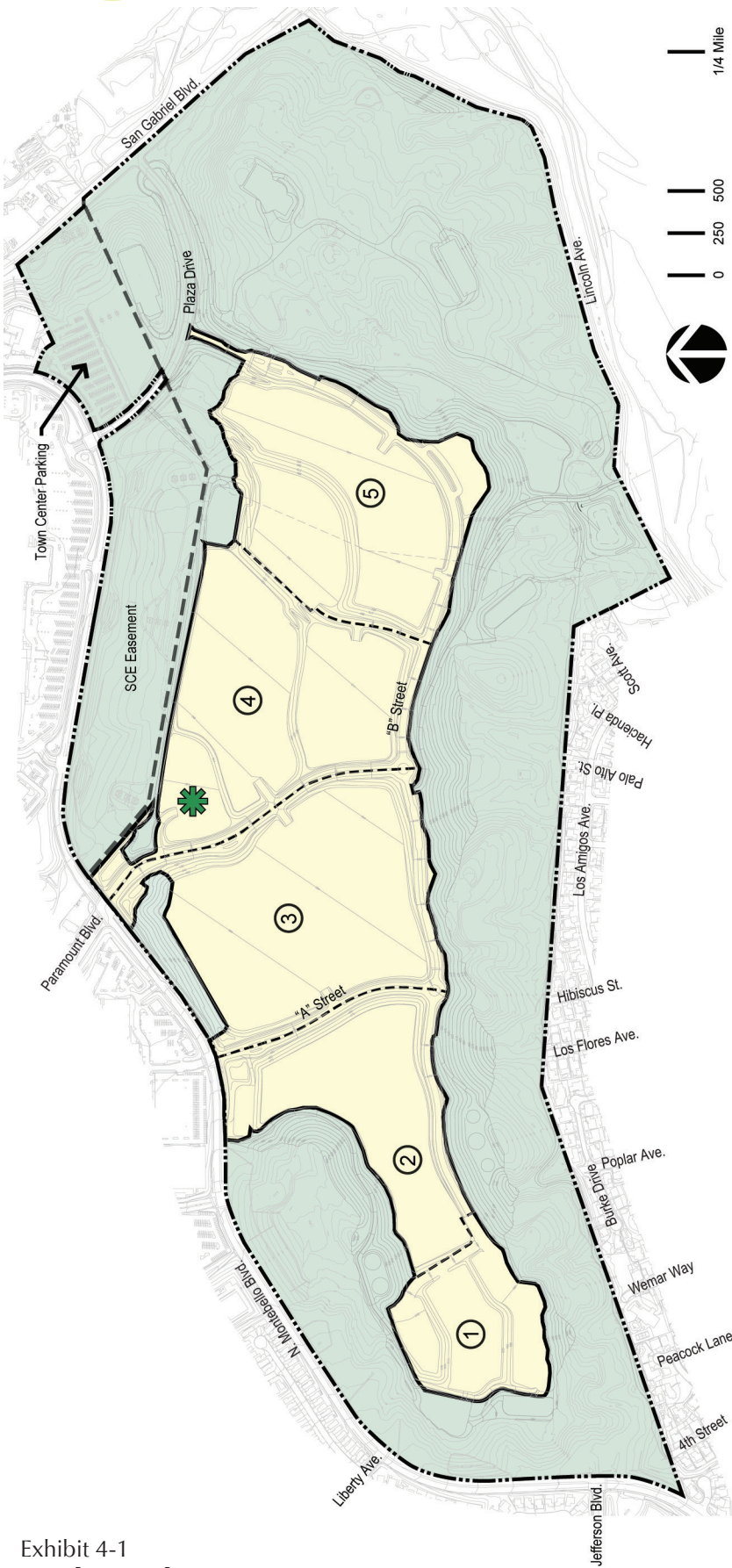
Section 4. Land Use

4.1 Introduction

A strong community identity is established for Montebello Hills through a comprehensive community design that emphasizes livability and walkability. Residential areas are oriented to parks and landscaped common areas connected through a network of multi-use trails and pedestrian paths. Architectural elements of homes fronting streets and landscaping features along streets and at entries of Montebello Hills combine to form unifying community elements, instilling a sense of place and belonging for residents. Approximately 174 gross acres of the Specific Plan area are designated for residential land use comprised of five residential Planning Areas. Up to 1,200 total residential dwelling units, along with parks and trails, are planned for development within the residential land use area. Approximately 314 acres of the Specific Plan area are designated for open space land use which surrounds the residential land use area on all sides creating an open space setting for the planned residential community.

The development plan for Montebello Hills is illustrated on Exhibit 4-1, “Land Use Plan.” The “Land Use Summary,” Table 4-1, describes each land use component of the Specific Plan area.

Pedestrian and bicycle connectivity is a fundamental community design element of Montebello Hills. Streets are designed to encourage walking with sidewalks separated from the street with a tree lined landscaped parkway. Bicycle and pedestrian connectivity is provided within the community through the planned development of a network of publicly accessible trails to include an off-street multi-use trail, expanded walkways, and bicycle accessible streets. The Montebello Hills trail system includes the “Scenic Promenade,” which offers opportunities to walk or bike to publicly accessible scenic vista points within the community. The trail system for Montebello Hills provides opportunities for walking or biking to parks within the community, to the Whittier Narrows Regional Recreational Area located east of Montebello Hills, and to nearby shopping at regional centers located north of Montebello Hills.



Planning Area	Units	Gross Acres	Gross Units / Acre
Planning Area 1	107	16.3	6.6
Planning Area 2	226	27.1	8.3
Planning Area 3	404	45.5	8.9
Planning Area 4	250	43.2	5.8
Planning Area 5	213	41.5	5.1
Sub Total	1200	173.6	6.9
Open Space	-----	314.6	-----
Total Site	1200	488.2	2.5

- Specific Plan Area
- Residential Area
- Public Park Site Conceptual Location
- Open Space*

* Includes habitat, oil and gas production, and public facilities.

Note: Transfer of residential units and density among planning areas permitted per section 7.9

Exhibit 4-1
Land Use Plan

RESIDENTIAL LAND USE AREA⁽¹⁾	Gross Acres	Dwelling Units	Density (du/gross acre)
Planning Area 1 (includes private HOA parks and 0.6 acres for publicly accessible trails)	16.3	107	6.6
Planning Area 2 (includes private HOA parks and 1.0 acres for publicly accessible “Scenic Promenade” and trails)	27.1	226	8.3
Planning Area 3 (includes private HOA parks and, 1.9 acres for publicly accessible “Scenic Promenade” and trails)	45.5	404	8.9
Planning Area 4 (includes private HOA parks, 5.5 gross acre site for public park, and 1.4 acres for publicly accessible “Scenic Promenade” and trails)	43.2	250	5.8
Planning Area 5 (includes private HOA parks, and 2.5 acres for publicly accessible “Scenic Promenade” and trails)	41.5	213	5.1
Subtotal Residential	173.6	1,200	6.9
OPEN SPACE LAND USE AREA			
Open space land use area includes fuel modification zones, .7 acres for publicly accessible “Scenic Promenade” and trails, 43.6 acre SCE Easement, and 24.7 acres of oil facilities	314.6		
TOTAL	488.2	1,200	2.5

1. Residential land use area includes 5.5 gross acres for a public park site and 8.1 acres of publicly accessible “Scenic Promenade” and trails.

Table 4-1
Land Use Summary

4.2 Open Space Land Use

In response to input received at the various community meetings conducted by the applicant, the Montebello Hills land use plan is designed to maximize open space and preserve views to and from the Specific Plan area while meeting other goals and objectives of the Specific Plan. Approximately 314 gross acres, or 64% of the Specific Plan area, are designated for open space land use. The preservation of California gnatcatcher habitat areas within permanent open space areas is an integral component of the land use plan for Montebello Hills.

A California gnatcatcher Reserve has been designed in response to the requirements of the USFWS. Due to the nature of the open space area as habitat for the California gnatcatcher, USFWS regulations do not allow general public access into any portion of the Reserve. Additional information on the Reserve is provided in the project EIR.

Existing oil and gas production facilities are permitted within the open space area pursuant to the provisions of Chapter 17.44, "Oil and Gas Production District," of the Montebello Municipal Code. Oil wells remaining in open space will have security fencing in accordance with the requirements of Cal DOGGR. Oil and gas production facilities located within one hundred feet of any residential Planning Area will be visually screened and acoustically buffered from the Planning Area. Information on the method of screening oil and gas production facilities adjacent to residential Planning Areas is included in Section 8, "Design Guidelines," of the Specific Plan. The existing Montebello Town Center parking lot is designated as an open space land use and will be permitted to continue operations as a permitted land use within the open space area. If at any time following the

adoption of the Montebello Hills Specific Plan by the City, the parking lot is discontinued, this area will be restored to natural open space.

Other uses permitted within the open space area of Montebello Hills include portions of the publicly accessible multi-use trail system, fire protection zones for the residential area, graded slopes, the Southern California Edison easement area, water quality basins and water reservoirs to serve the residential development area, and other public utilities such as telecommunications towers and the relocated Southern California Gas Company gas line.

4.3 Residential Land Use

Residential land use areas comprise approximately 174 acres, or 36%, of the Specific Plan area. Five residential Planning Areas are designed to provide opportunities for development of a wide range of housing types addressing a variety of lifestyles and income levels. Residential Planning Areas are linked by a network of street separated sidewalks and a publicly accessible trail system which includes expanded pedestrian walkways, an off-street multi-use trail, bicycle accessible streets, and the "Scenic Promenade." The trail system connects all the residential Planning Areas to a centrally located public park site and private recreation and park facilities within the community.

Market conditions may dictate that the community be gated. Community entries have been designed to accommodate gates should the condition arise. In the event the community is gated, public pedestrian and bicycle access will be available through the community and to the public park site and "Scenic Promenade," through the network of expanded pedestrian walkways, multi-use trails, and bicycle accessible streets. In some instances individual residential neighborhoods within a Planning Area may be gated and served by private roadways.

Residential single family detached homes and residential attached homes in a variety of styles and types, combined with a streetscape that encourages walking, biking, and casual resident interaction make Montebello Hills a truly livable community. A variety of architectural styles including Craftsman, Ranch, Farmhouse, Monterey, and Spanish Colonial will be provided along tree lined streets. Landscaped entries and parkways create visual interest to the streetscene while providing a safe and inviting environment for pedestrians and bicyclists. Architectural features such as front porches, railings, enhanced entries, a mix of building materials and textures, columns, balconies, and lighting, as well as authentic detailing on features such as windows and doors, combine to create a human scale of architecture relating to the street. Other uses permitted within residential land use areas of Montebello Hills include parks, trails, fuel modification areas, roadways, and public facilities to serve the development.

Planning Area 4 contains an approximately 5.5 gross acre site to be offered for dedication to the City for development by the City of a public park. Residential uses may be developed on this site pursuant to the provisions of Section 7.11, "Residential Use of Public Park Site," of the Specific Plan provided the total number of dwelling units for the Specific Plan area does not exceed 1,200.

The Specific Plan permits a variety of residential types to be developed within Montebello Hills and provides for flexibility in the distribution of residential types among the five residential Planning Areas. The Specific Plan identifies the total number and types of residential dwellings permitted for development within the Specific Plan area. The estimated 5 to 10 year time line for development of the community, however, necessitates that a flexible plan be adopted for the ultimate designation of residential types within each Planning Area. For this reason, the Specific

Plan allows for the exact number and type of residential development to be determined for each Planning Area at the time that tentative tract maps for development purposes are submitted by the applicant for review and approval by the City of Montebello.

A maximum of 1,200 dwelling units is permitted for development within Planning Areas 1 through 5 of the Specific Plan area. Each Planning Area is allocated a number of dwelling units for development as described in Table 4-1. The Specific Plan includes provisions permitting the number of dwelling units allocated for each Planning Area to be exceeded through the transfer of dwelling units from one Planning Area to another at the time of approval by the City of tentative tract maps. The transfer of residential units among Planning Areas is permitted pursuant to the provisions of Section 7.9, "Transfer of Residential Dwelling Units," of the Specific Plan.

Residential types planned for Montebello Hills include front loaded single family detached homes, lane loaded single family detached cottage homes, courtyard and cluster single family detached home types, and a variety residential attached home types. The home types planned for Montebello Hills are described below.

4.3.1 Residential Types

The following description of residential types is intended as a general description of home types anticipated for development and is not intended to limit the types of residential products permitted for development. As innovations in residential design occur over time, additional residential products are likely to be identified as suitable for development. Examples of each home type and typical neighborhood plotting of each home type are provided in Section 6, “Development Regulations,” of the Specific Plan. Additional information on the use of various architectural styles and design criteria for residential development is contained in Section 8, “Design Guidelines,” of the Specific Plan.

4.3.1.1 Single Family Detached Home Types

The following single family detached home types are planned for Montebello Hills. Development of the single family detached home types described below is allowed within all Planning Areas of Montebello Hills.

4.3.1.1.1 Single Family Detached Conventional and Estate Homes

Conventional, single family detached dwelling units on lots with a minimum area of 4,000 square feet and single family detached homes on estate lots with a minimum area of 6,000 square feet are planned for development. Homes on conventional and estate lots front the street, with emphasis placed on architectural elements oriented toward the street, and incorporate a mix of garage configurations and designs such as recessed garages, mid or deep recessed garages, split garages, and/or tandem garages as a means to provide a varied streetscene.

4.3.1.1.2 Single Family Detached Cottage Homes

Single family detached cottage homes planned for Montebello Hills place garages at the rear of the lot with access from a private lane or drive eliminating garage doors fronting the street. The front of the home provides family living space with porches, patios, or courtyards facing the neighborhood streets or open space areas. This home type emphasizes architectural elements fronting the street and promotes a pedestrian friendly street scene dominated by attractive architectural features.

4.3.1.1.3 Single Family Detached Cluster Homes and Courtyard Homes

Single family detached cluster and courtyard home types are planned with 4 to 8 dwelling units grouped around a common courtyard or open space area. Cluster detached single family homes are arrayed around an auto court or common area. The residential front entry for this home type faces either the street or a common auto court. The courtyard single family detached home type is a design with homes grouped around a common motorcourt with garages accessed from a common private drive and the front doors of units facing either a common “greenway” or the street. In both home types garages are accessed from either a private drive, street, or court which allows for the fronts of garages to be turned away from the street, or set back far enough from the street, that the residential architecture, not the garage, is predominant.

4.3.1.1.4 Single Family Detached 2 Pack and 3 Pack Homes

Single family detached 2 Pack and 3 Pack home types are designed so that each unit shares a side yard with a neighboring unit and garages have alternating staggered setbacks. This home type provides a larger usable sideyard area for each unit and the opportunity to locate garages at the rear of the lot, or set back from the front of the home at a distance, in order to preserve an architecture forward streetscene.

4.3.1.2 Residential Attached Homes

The following residential attached home types are planned for Montebello Hills. Development of the residential attached home types described below is permitted within any Planning Area of Montebello Hills.

4.3.1.2.1 Row Townhomes and Motorcourt Townhomes

Townhomes planned for Montebello Hills are designed either in a row configuration with garages either fronting a private street or drive aisle or served by an internal street, lane, drive aisle located at the rear of the building, or in a motorcourt configuration with dwelling units grouped around a common motorcourt. Neighborhoods of residential attached townhomes are designed with front entries facing either the street, a common motorcourt, or a common “greenway” and include private recreational amenities for residents such as pools, spas, picnic, and barbecue areas. This home type can be developed either as a condominium style project or as a typical fee simple lot subdivision.

4.3.1.2.2 Paired Homes and Triplexes

Paired homes are planned as duplexes and triplexes, either in row configurations of two or three units per module, or in courtyard configurations with a common green court serving the

units. Another form of triplex home is designed with two units in a row and a third unit, or carriage unit, located above the garage. Garages are served by a street, private drive aisle, or lane located at the rear of the building to maintain an architecture forward streetscene. Paired homes and triplexes are designed with front entries facing either the street or common green courts. Neighborhoods containing paired homes and triplex homes can include private recreational amenities for residents such as a common recreation building, pool, spa, tot lot, and barbecue area. Paired home types can be developed either as a condominium style project or as an individual fee simple lot subdivision, while triplex home types with a carriage unit above are typically developed as a condominium style project.

4.3.1.2.3 Stacked Flats and Greencourt Homes

Stacked flat and greencourt home types are planned for development in Montebello Hills. These home types are designed with architecture fronting the street and, in some cases, shared parking areas located to the rear of buildings. Residential neighborhoods containing stacked flats and greencourt homes include common private recreational facilities such as pools, spas, a recreation center, tot lots, and barbecue areas. These home types are developed as a condominium style project.

4.4 Parks and Trails

The land use plan for Montebello Hills provides for approximately 14 acres within the Specific Plan area for an approximately 5.5 gross acre public park site and approximately 8.1 acres for a publicly accessible trail system. The conceptual plan for parks and trails is illustrated on Exhibit 4-2, “Parks and Trails Master Plan,” and is discussed below.

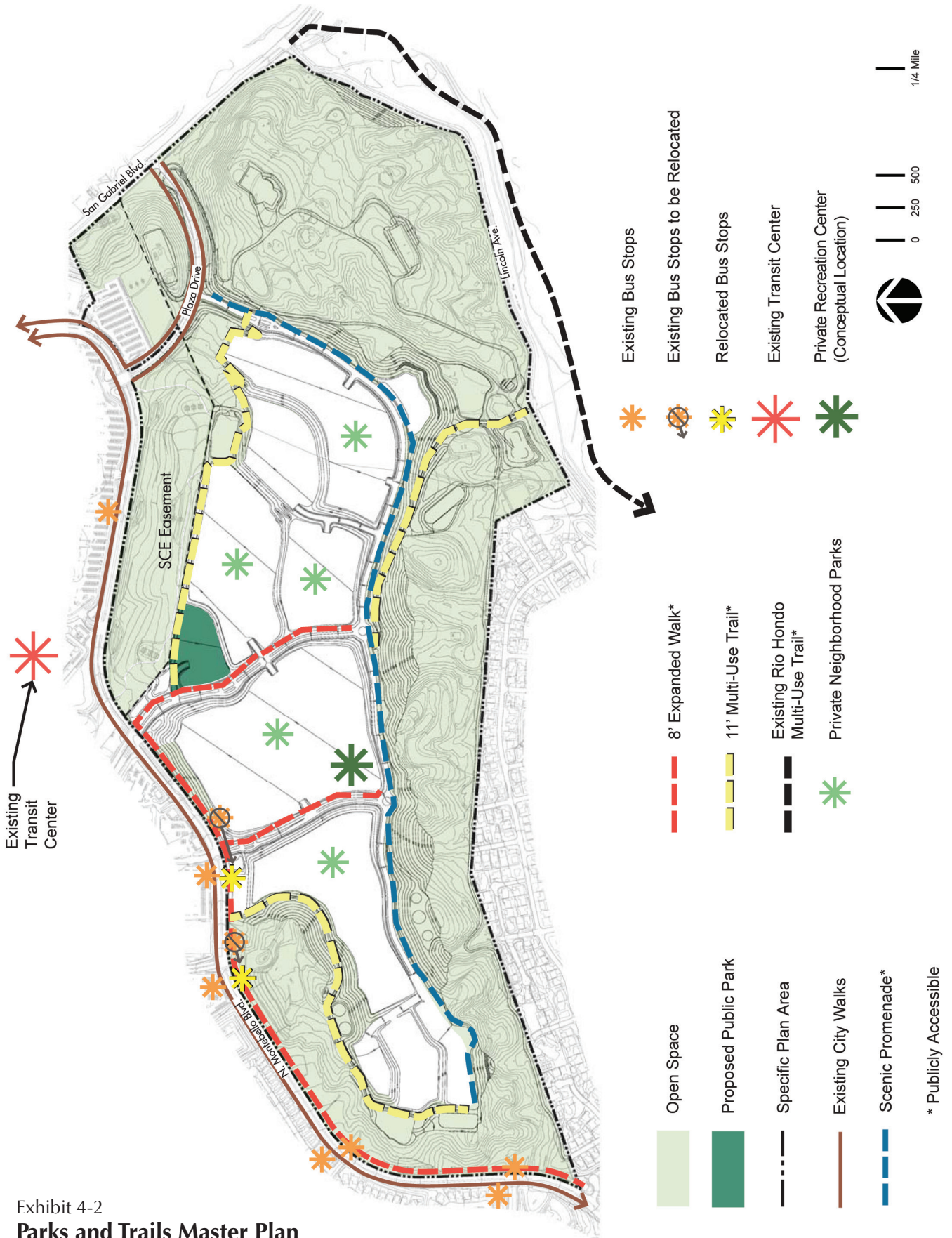


Exhibit 4-2
Parks and Trails Master Plan

4.4.1 Public and Private Parks and Private Recreational Facilities

A public park site of approximately 5.5 gross acres located within Planning Area 4 will be offered for dedication to the City for development by the City of a public park. The public park site is located at the entry to Montebello Hills at Paramount Boulevard providing convenient public access to the park site. The park site provides a net area of approximately 4.3 acres which will accommodate sports fields for baseball and soccer, public parking, and a multipurpose facility with restrooms and a group picnic shelter.

Approximately 2.5 acres of private parks, including a private community center, will be provided within the residential Planning Areas. Development of each residential Planning Area within Montebello Hills will include development of either a private park or a recreation facility to be maintained by a homeowners' association (HOA) and designed to provide on-site recreational amenities within walking and biking distance of residences. The exact size, configuration, and location of private parks will be determined at the time of approval of tentative tract maps for each residential Planning Area in order to design these facilities to best meet the lifestyle and recreational needs of the future residents. A private active recreational area including a pool, spa, and community center is planned to serve the active recreational needs of the community. The appropriate location and exact size of the recreational facility will be determined at the time of design of the Planning Area selected for the recreational facility.

4.4.2 Trails

A network of publicly accessible walking and biking trails is provided to include an off-street multi-use trail, expanded width pedestrian paths adjacent to streets, streets designed to accommodate on-street biking, and the "Scenic

Promenade." The trail system provides public pedestrian and bicycle connectivity through the community to the boundaries of the community at Lincoln Avenue, Montebello Boulevard, and San Gabriel Boulevard. The trail system allows bicyclists and pedestrians to continue along these existing roadways adjacent to the community to connect with the nearby Whittier Narrows Recreational Area and the regional Rio Hondo Trail, located to the east of the Specific Plan area, and to existing shopping located at the regional commercial centers located adjacent to the Specific Plan area on the north.

The multi-use trail within Montebello Hills is planned as an 11 foot wide paved trail designed to accommodate bicyclists and pedestrians. The multi-use trail system is planned to extend through portions of the open space area and adjacent to the boundaries of residential areas. The trail is generally located adjacent to open space along the westerly boundary of Planning Area 1 between Collector Street "A" and Montebello Boulevard, along the northerly boundary of Planning Areas 4 and 5 between Paramount Boulevard and Plaza Drive, within a portion of open space, and within the open space area between Collector Street "B" and Lincoln Avenue. Where the trail is located adjacent to the Reserve, fencing will be provided to protect the Reserve. Information on Reserve fencing is provided in Section 8, "Design Guidelines," of the Specific Plan. Information displays are planned to be installed along the length of the multi-use trail system of Montebello Hills describing the heritage of Montebello and points of natural interest.

Expanded 8 foot wide sidewalks are planned to be constructed within the right of way of Montebello Boulevard adjacent to the Specific Plan area and as part of the construction of Paramount Boulevard, Collector Street "A," and Collector Street "B." These streets are designed to accommodate on-street biking and to connect

to the multi-use trail system providing public pedestrian and bicycle connectivity through the community. Where Collector Street “B” extends along the southerly boundary of the residential land use area, a “Scenic Promenade” is planned between the 8 foot wide expanded sidewalk and open space areas. The “Scenic Promenade” offers opportunities for the public to stroll along the edge of the open space area within a landscaped park environment and enjoy views across the Los Angeles Basin as far south as the Pacific Ocean.

4.5 Existing Town Center Parking Lot

An existing parking lot serving the Montebello Town Center is located at the southeast corner of Montebello Boulevard and Plaza Drive. The Specific Plan designates this area for open space use. The Specific Plan permits the continued operation of the existing parking lot subject to the provisions of Section 6. 11, “Continued Parking Lot Operation,” of the Specific Plan. In the event the parking lot use is discontinued, the area will be restored to natural open space.

4.6 Fire Safety Plan

Where residential development interfaces with open space, fire protection zones are necessary to be provided as part of development. These zones will include the planting of modified plant materials to provide a fire retardant buffer between open space and residences. Additional information on the various fire protection zones and planting plan for each zone are provided in Section 8, “Design Guidelines,” of the Specific Plan. The areas designated for fire safety buffering from open space within Montebello Hills are illustrated on Exhibit 4-3, “Fire Safety Plan.”

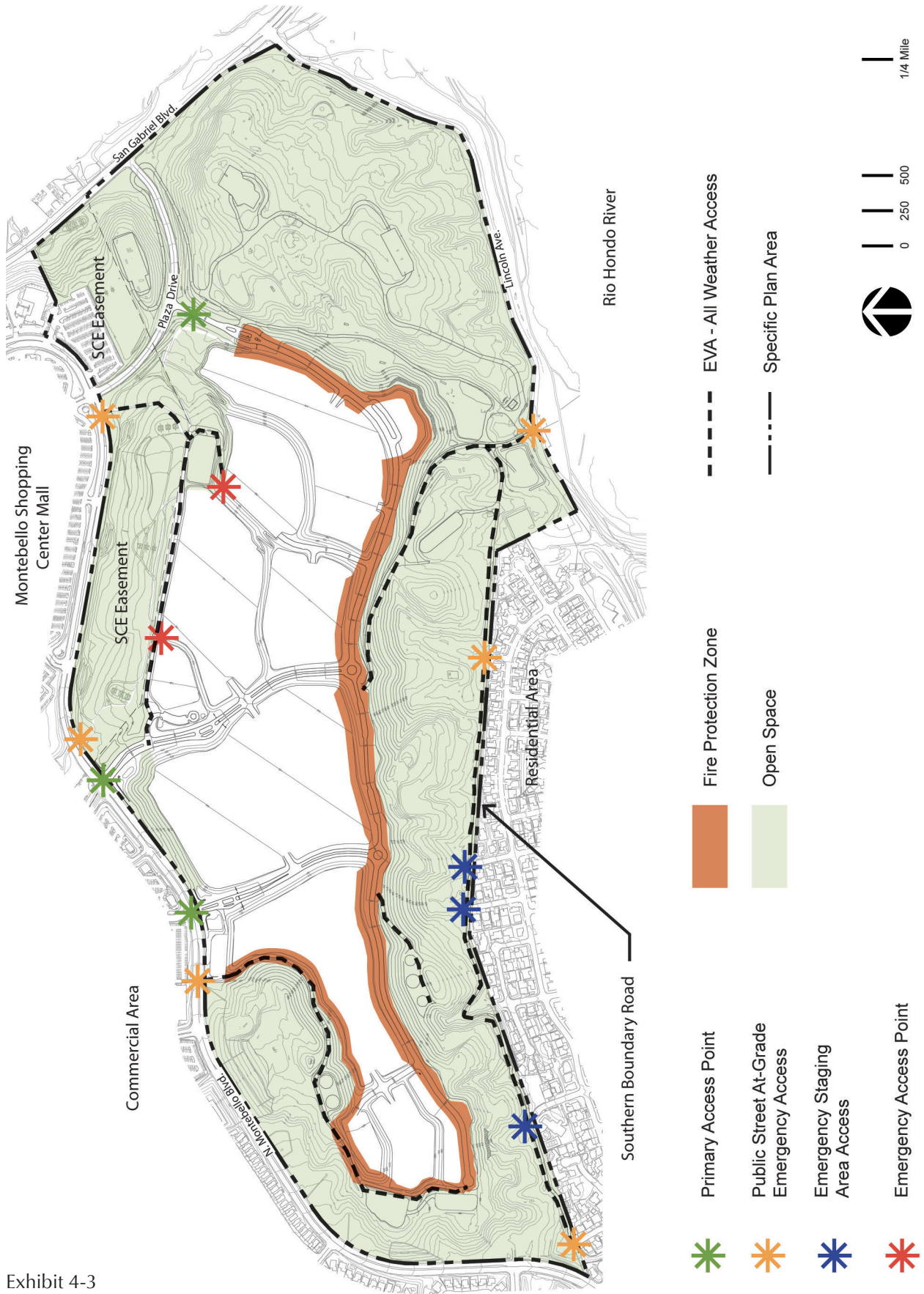


Exhibit 4-3
Fire Safety Plan

Section 5. Infrastructure and Services

Montebello Hills is served by a comprehensively planned infrastructure system. Plans for circulation, water, wastewater, drainage, and utilities are designed to meet the needs of the community through the construction of new facilities within the Specific Plan area and improvements to existing streets abutting the Specific Plan area.

5.1 Circulation

5.1.1 Overview

The circulation plan for Montebello Hills provides for the safe and efficient movement of vehicles through the community and reinforces the goal of providing a safe environment for pedestrian and bicycle mobility. An extensive network of multi-use trails and pedestrian paths is provided throughout the community offering an alternative means of travel and reducing reliance on the automobile. Street design is an important element in establishing a safe and welcoming pedestrian and bicycle environment. Streets are planned to be in scale with neighborhoods and well landscaped in order to encourage safe driving speeds. Sidewalks and multi-use trails planned for development provide pedestrian and bicycle connectivity and accessibility to parks within the community and to regional recreational facilities and commercial centers surrounding the community.

The primary existing transportation corridors serving Montebello Hills are Montebello Boulevard and Paramount Boulevard. San Gabriel Boulevard, adjacent to the Specific Plan area on the east, provides secondary access to Montebello Hills via a connection with Plaza Drive which extends along the northeasterly portion of the Specific Plan area. The circulation plan for Montebello Hills includes two community entries along Montebello Boulevard and

one entry along Plaza Drive. The Specific Plan area is served internally by a network of residential collector roadways and local streets designed to provide view opportunities along the roadways encouraging drivers to proceed slowly.

Sidewalks connecting residential neighborhoods and parks, are planned as part of the development of the residential collectors within the community. An off-street paved multi-use trail is planned adjacent to open space, crossing a portion of the open space area providing a scenic corridor through the community, and connecting residential areas to parks within the community and to off-site regional trails and recreational amenities. The network of sidewalks and multi-use trails planned for Montebello Hills provides bicycle and pedestrian connectivity to all areas within the community and connects to existing roadways adjacent to the Montebello Hills Specific Plan area allowing bicyclists and pedestrians to continue along these streets to access surrounding parks, recreational trails, open space, and commercial centers.

5.1.2 Streets

New streets and improvements to existing roadways planned as part of the development of Montebello Hills are illustrated on the “Master Circulation Plan,” Exhibit 5-1 and on the street sections included as Exhibits 5-3 through 5-9.

5.1.2.1 Montebello Boulevard

Montebello Boulevard will be improved to its ultimate right of way, consistent with the City’s General Plan, as part of project development. As part of the development of the project, additional right of way will be dedicated along the south side of Montebello Boulevard adjacent to the Specific Plan area between the project entrances at “A” Street and Paramount Boulevard and the southwesterly boundary of the Specific Plan area. Improvements within the additional right of way include new paving, curb,

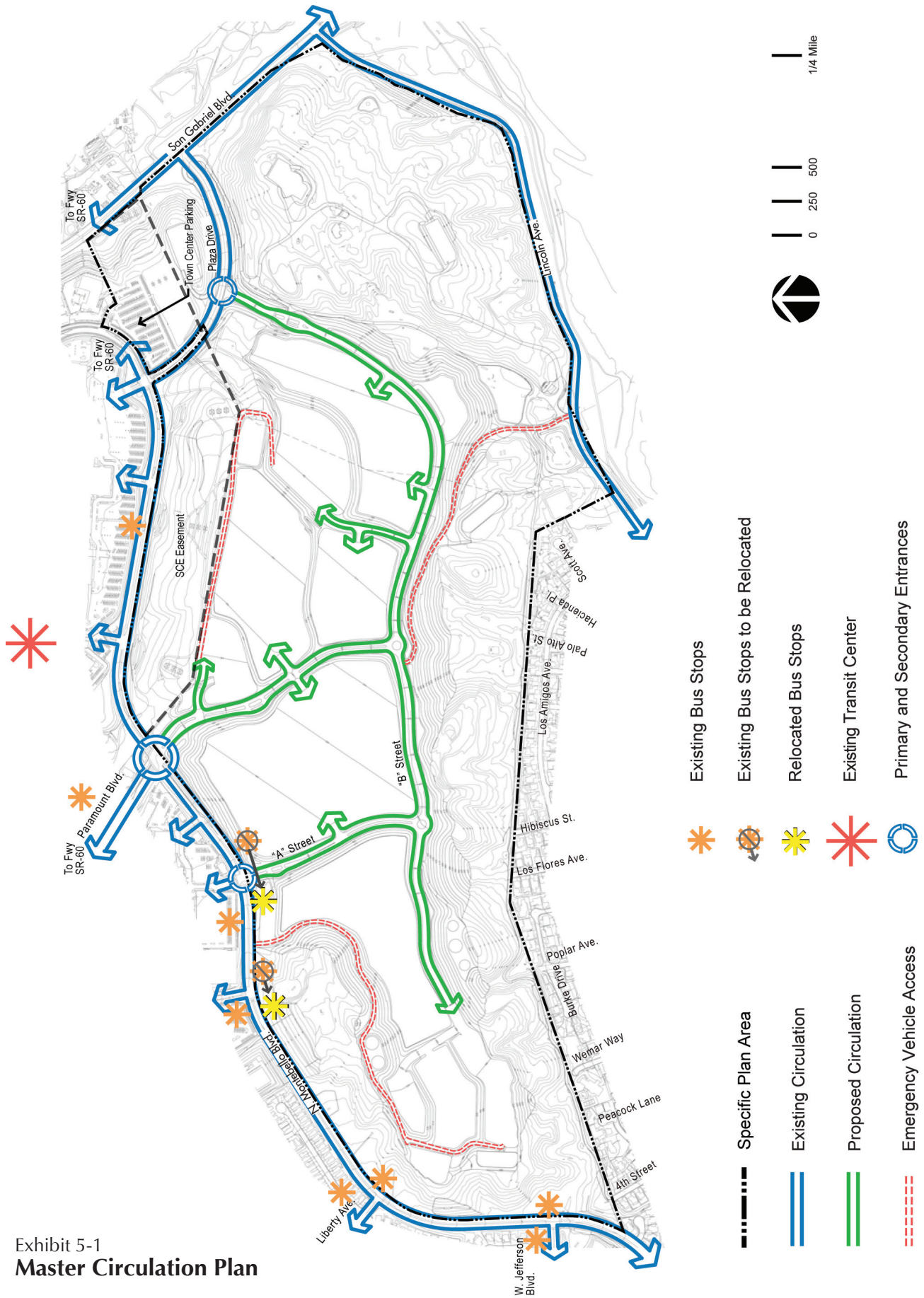


Exhibit 5-1
Master Circulation Plan

gutter, and an 8 foot wide sidewalk separated from the roadway by a 7 foot wide landscaped parkway. Along the southwesterly 500 feet of Montebello Boulevard adjacent to the Specific Plan area, the 8 foot wide sidewalk will be adjacent to the new curb with no additional parkway. A 12 foot wide eastbound right turn lane will be added along Montebello Boulevard at the community entries located at “A” Street and Paramount Boulevard. The planned improvements to Montebello Boulevard are illustrated on Exhibit 5-2, “Montebello Boulevard Street Sections.”

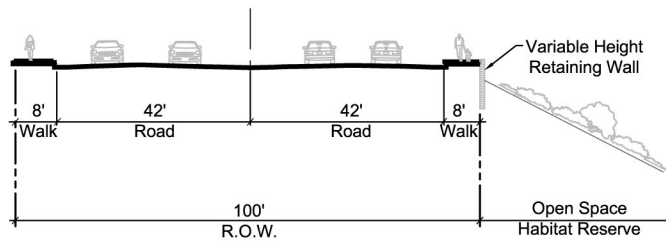
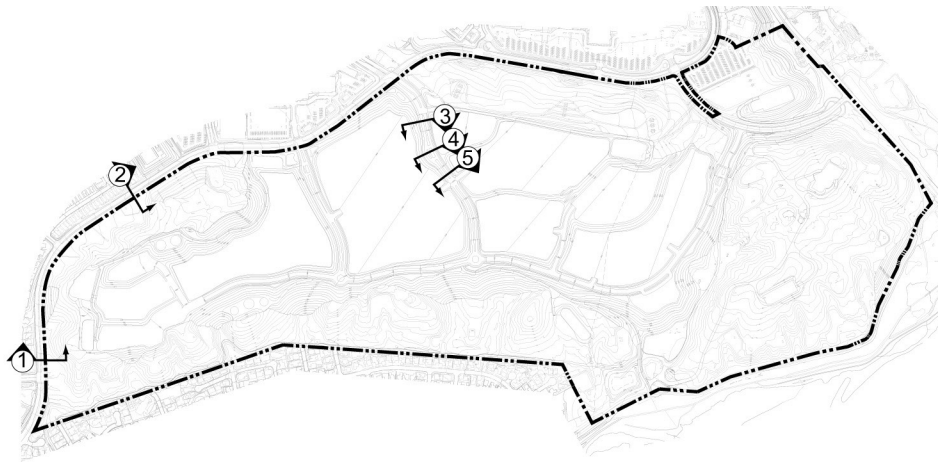
5.1.2.2 Paramount Boulevard

Paramount Boulevard currently provides the primary access point to the Specific Plan area. Paramount Boulevard is planned to extend south into the Specific Plan area as a residential collector street serving the project. Paramount Boulevard within the Specific Plan area is designed to create a sense of arrival to Montebello Hills through enhanced landscaping and a raised landscaped median. The street right of way for Paramount Boulevard, from the intersection at Montebello Boulevard to approximately 600 feet southerly, will be 84 feet in width with 24 feet of paved travel area on both sides of the street separated by a raised, landscaped median of 14 feet in width. At the project entry to Montebello Hills, the median will be expanded to 30 feet in width. The paved travel area continuing southerly will be 20 feet in width on both sides of the street. A landscaped parkway of 10 1/2 feet in width is provided on both sides of the street. Pedestrian and bike trail improvements include an 8 foot wide sidewalk behind the landscaped parkway on the east side of the street and a 5 foot wide sidewalk behind the landscaped parkway on the west side of the street. An additional 6 foot wide flat landscaped area is provided behind the sidewalk for utilities and edge buffering. If any portion of Paramount Boulevard is gated, that portion of the street will be privately

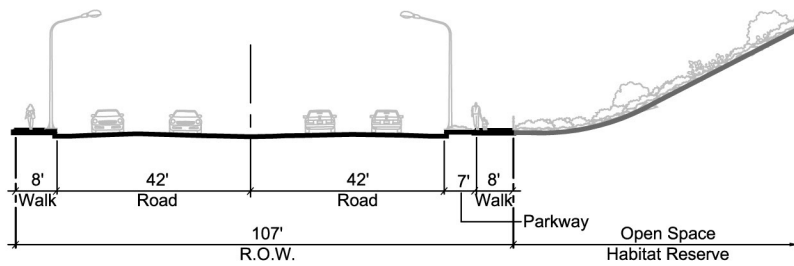
maintained. Paramount Boulevard intersects Collector Street “B” within the community via a roundabout on the southerly end of Paramount Boulevard. The design for Paramount Boulevard within the Specific Plan area is illustrated on Exhibit 5-3, “Paramount Boulevard Street Sections.”

5.1.2.3 Collector Street “A”

Collector Street “A” provides another primary access to Montebello Hills from Montebello Boulevard. The street right of way for Collector Street “A,” from the intersection of Montebello Boulevard southerly for approximately 200 feet varies from 84 to 90 feet in width with 24 feet of paved travel area on both sides of the street divided by a 14 to 20 foot wide raised landscaped median. The paved travel area continuing southerly will be 20 feet in width on both sides of the street. A landscaped parkway of 10 1/2 feet in width is provided on both sides of the street. Pedestrian and bike trail improvements include an 8 foot wide sidewalk behind the landscaped parkway on the east side of the street and a 5 foot wide sidewalk behind the landscaped parkway on the west side of the street. An additional 6 foot wide flat landscaped area is provided behind the sidewalk for utilities and edge buffering. Collector Street “A” intersects Collector Street “B” via a roundabout on the southerly end of Collector Street “A.” If any portion of Collector Street “A” is gated, that portion of the street will be privately maintained. The design for Collector Street “A” within the Specific Plan area is illustrated on Exhibit 5-4, “Collector Street “A” Street Sections.”

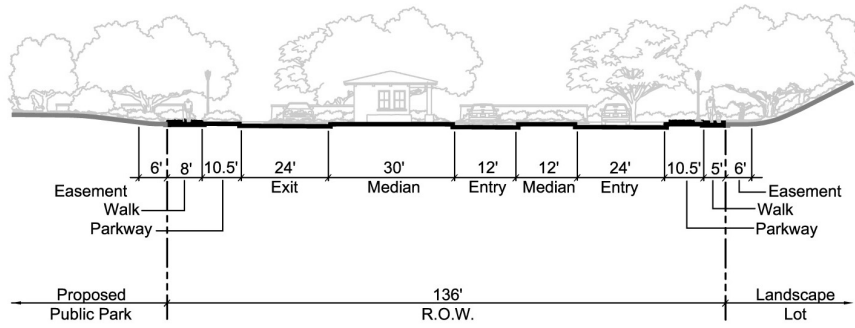


1 North Montebello Blvd.
NTS NOTE: PAVEMENT SECTIONS SHOWN ARE DIMENSIONED TO CURB FACE.

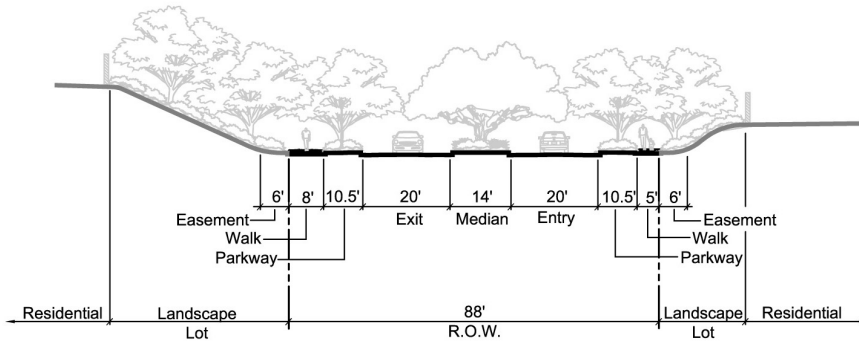


2 North Montebello Boulevard
NTS NOTE: PAVEMENT SECTIONS SHOWN ARE DIMENSIONED TO CURB FACE.

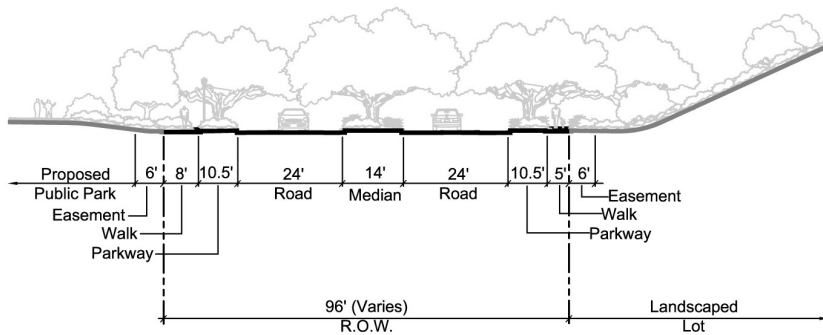
Exhibit 5-2
Montebello Boulevard Street Sections



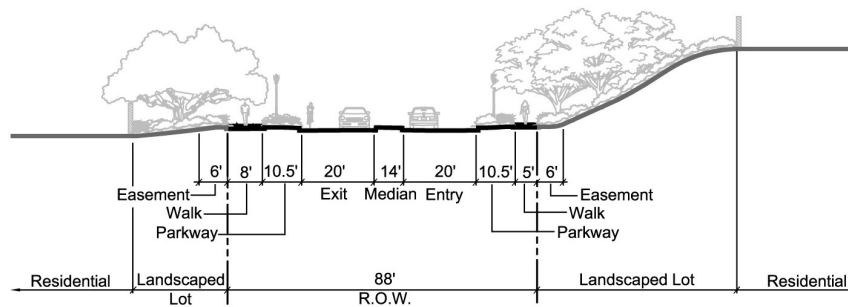
3 Paramount Boulevard - Entry
 NTS NOTE: PAVEMENT SECTIONS SHOWN ARE DIMENSIONED TO CURB FACE.



4 Paramount Boulevard - Residential to Residential
 NTS NOTE: PAVEMENT SECTIONS SHOWN ARE DIMENSIONED TO CURB FACE.

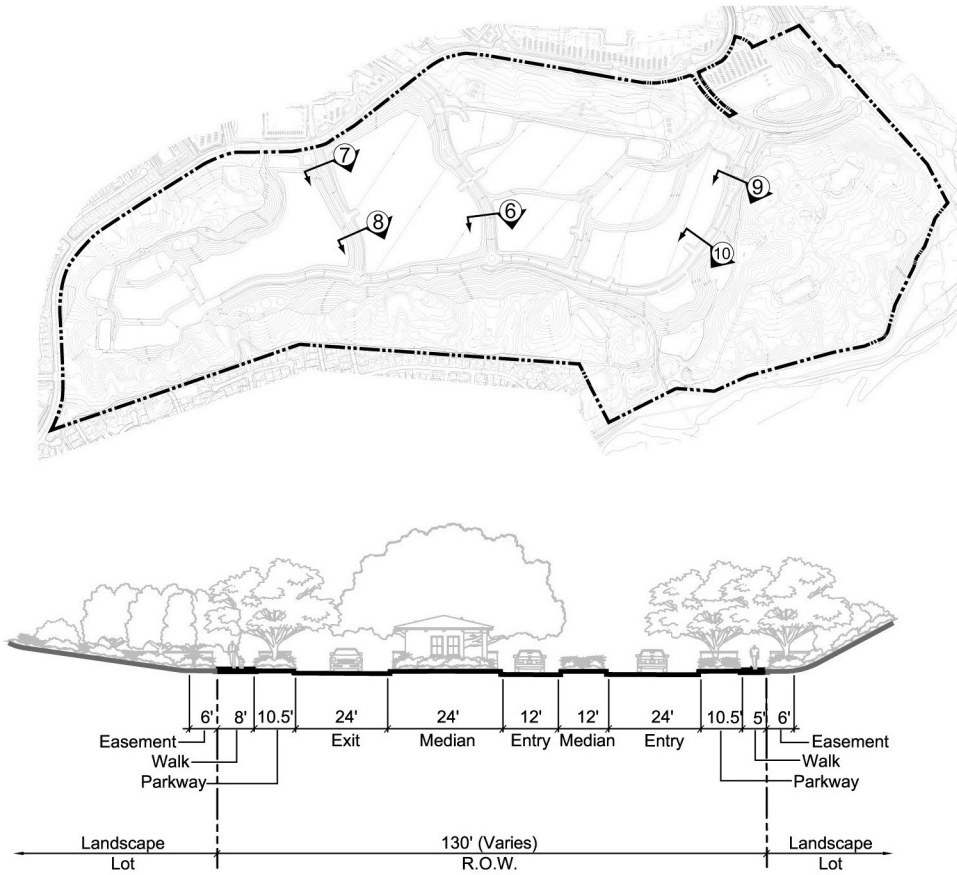


5 Paramount Boulevard - Public Park to Residential
 NTS NOTE: PAVEMENT SECTIONS SHOWN ARE DIMENSIONED TO CURB FACE.

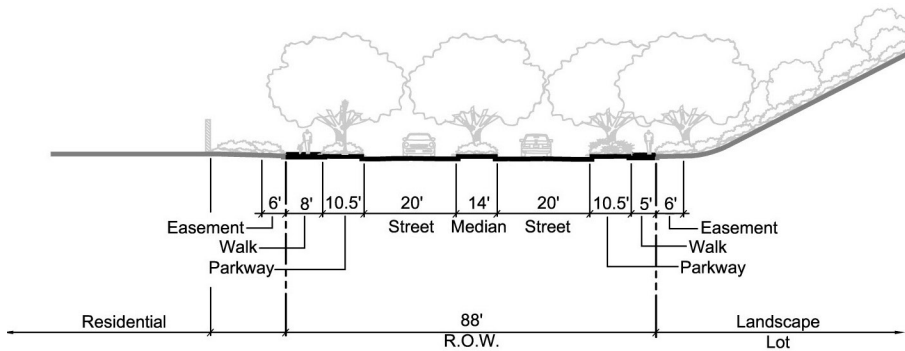


6 Paramount Boulevard - Residential to Residential
 NTS NOTE: PAVEMENT SECTIONS SHOWN ARE DIMENSIONED TO CURB FACE.

Exhibit 5-3
Paramount Boulevard Street Sections



7 Collector Street "A" - Entry
 NTS NOTE: PAVEMENT SECTIONS SHOWN ARE DIMENSIONED TO CURB FACE.



8 Collector Street "A" - Residential to Residential
 NTS NOTE: PAVEMENT SECTIONS SHOWN ARE DIMENSIONED TO CURB FACE.

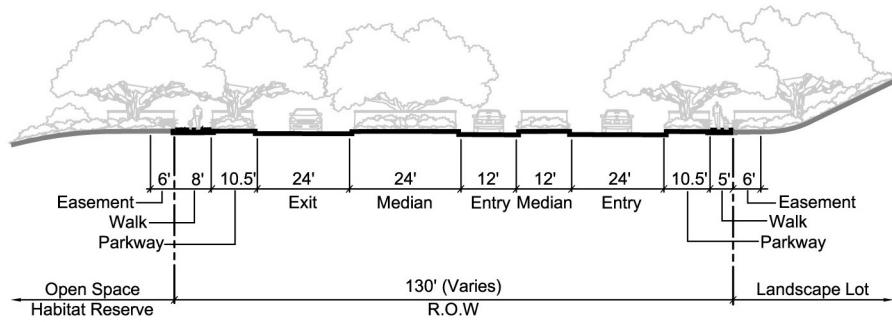
Exhibit 5-4
Collector Street "A" Street Sections

5.1.2.4 Collector Street “B”

Collector Street “B” forms the backbone circulation system through the community, extending west to east and intersecting at the Specific Plan area entry from Plaza Drive. Collector Street “B” connects to local streets serving residential Planning Areas. The street right of way for Collector Street “B” is typically 74 feet, which includes 40 feet of paved travel area and a landscaped parkway of 10 1/2 feet in width on both sides of the street. Pedestrian and bike trail improvements include an 8 foot wide sidewalk behind the landscaped parkway on the south and east side of the street and a 5 foot wide sidewalk behind the landscaped parkway on the north and west side of the street. On portions of Collector Street “B” between Collector Street “A” and Paramount Boulevard intersections, the paved travel area is reduced to 24 feet wide for traffic calming purposes. The paved area is widened in portions of this section to 40 feet in width to allow parking on both sides of the street. Collector Street “B” paved area is reduced to 36 feet wide westerly of the roundabout along Collector Street “A” due to lowered traffic volume in this area. The right of way for Collector Street “B” near the intersection of Plaza Drive will widen for entry and exit lane separations and will vary from 74 to 130 feet in width. If any portion of Collector Street “B” is gated, that portion of the street will be privately maintained. The design for Collector Street “B” within the Specific Plan area is illustrated on Exhibits 5-5, 5-6, and 5-7, “Collector Street “B” Street Sections.”

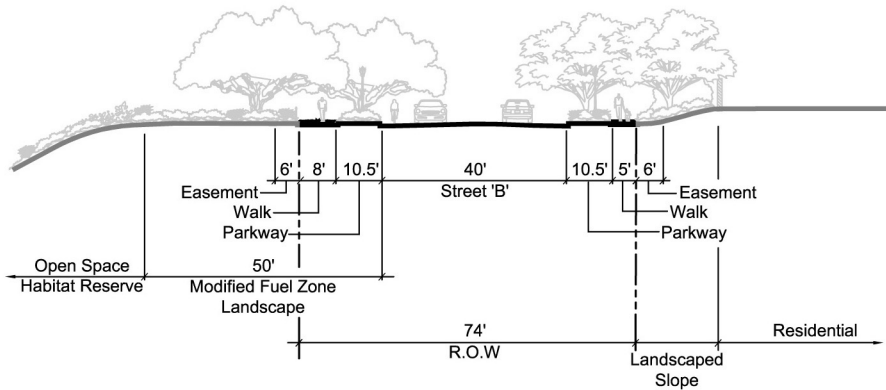
5.1.2.5 Plaza Drive

Plaza Drive serves as a secondary access point to the Specific Plan area. Plaza Drive is currently improved to its ultimate right of way. Existing right of way improvements for Plaza Drive include a 52 foot wide paved travel area and a 4 foot wide sidewalk on both sides of the street. Collector Street “B” intersects with Plaza Drive approximately 900 feet southeasterly of Plaza Drive’s existing intersection with Montebello Boulevard. At this location, an 11 foot wide deceleration lane for vehicular traffic entering the Specific Plan area and an 11 foot wide acceleration lane for vehicular traffic exiting the Specific Plan area will be provided. The existing 4 foot wide pedestrian sidewalk will be reconstructed on both sides of the street entry. The street sections for Plaza Drive are illustrated on Exhibit 5-8, “Plaza Drive Street Sections.”



9 Collector Street "B" - Entry
NTS

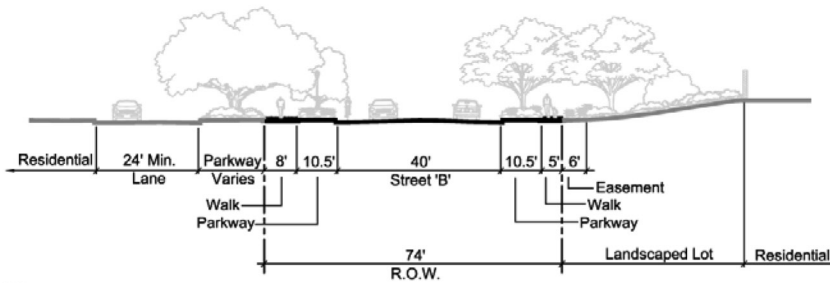
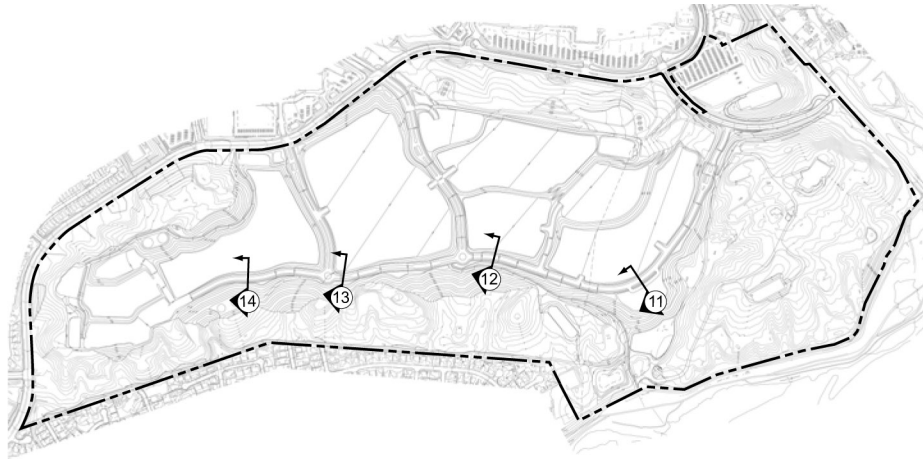
NOTE: PAVEMENT SECTIONS SHOWN ARE DIMENSIONED TO CURB FACE.



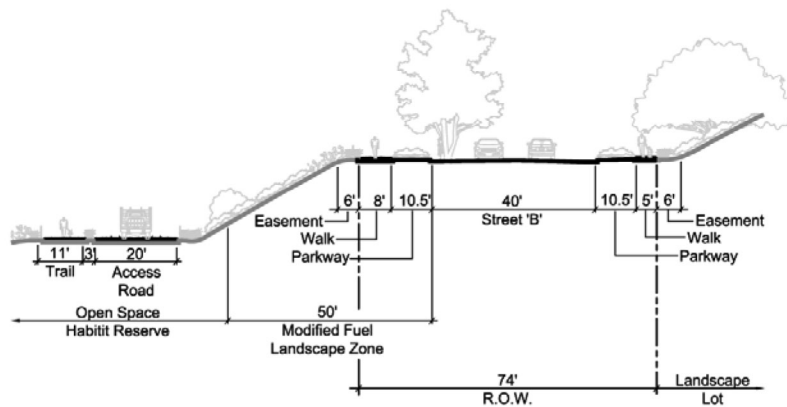
10 Collector Street "B" - Exterior Open Space to Residential
NTS

NOTE: PAVEMENT SECTIONS SHOWN ARE DIMENSIONED TO CURB FACE.

Exhibit 5-5
Collector Street "B" Street Sections

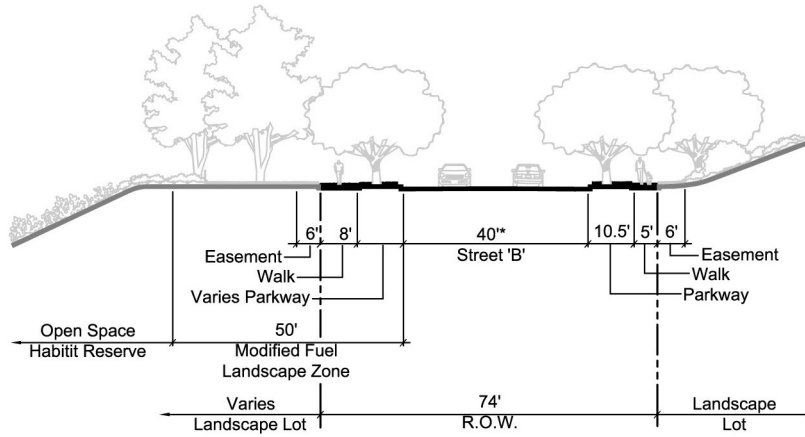


11 Street 'B' - Residential to Residential
 NTS NOTE: PAVEMENT SECTIONS SHOWN ARE DIMENSIONED TO CURB FACE.



12 Street 'B' - Exterior Open Space to Residential
 NTS NOTE: PAVEMENT SECTIONS SHOWN ARE DIMENSIONED TO CURB FACE.

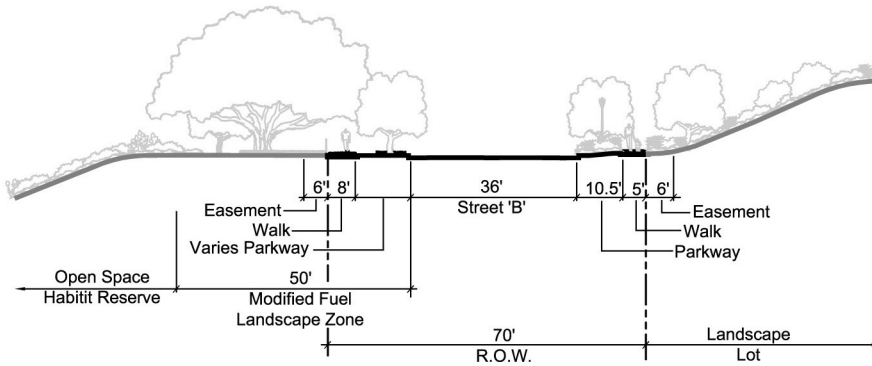
Exhibit 5-6
Collector Street "B" Street Sections



13 Collector Street "B" - Exterior Open Space to Recreation Center

NTS

NOTE: PAVEMENT SECTIONS SHOWN ARE DIMENSIONED TO CURB FACE.
 * 24' PAVEMENT SECTIONS WHERE PARKING IS PROHIBITED

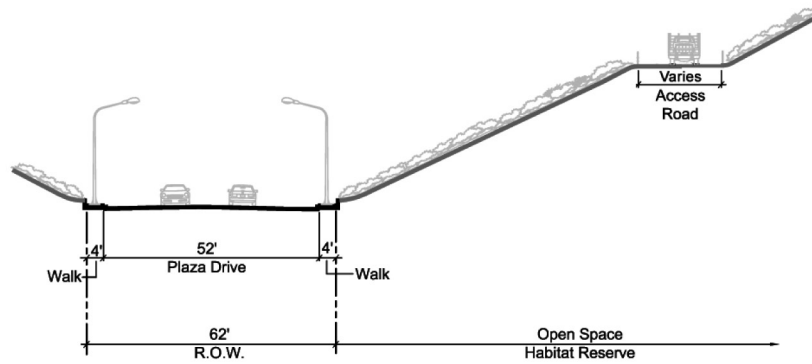
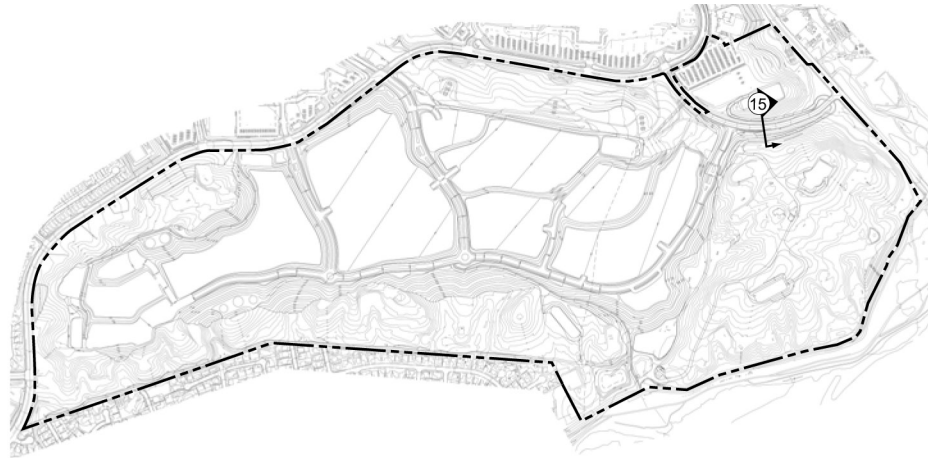


14 Collector Street "B" - Exterior Open Space to Residential

NTS

NOTE: PAVEMENT SECTIONS SHOWN ARE DIMENSIONED TO CURB FACE.

Exhibit 5-7
Collector Street "B" Street Sections



15 Plaza Drive
NTS

NOTE: PAVEMENT SECTIONS SHOWN ARE DIMENSIONED TO CURB FACE.

Exhibit 5-8
Plaza Drive Street Sections

5.1.2.6 Local Streets

Two types of local streets are planned to serve residential Planning Areas within Montebello Hills. Local streets are designed to distribute vehicular traffic from the entry and collector streets into and through residential neighborhoods. One type of local street design includes a total right of way of 59 feet with 36 feet of paved travel area accommodating one travel lane in each direction and parking on both sides of the street. A 5 foot wide sidewalk, separated from the street by a 6 1/2 foot wide landscaped parkway, is provided on each side of the street. The second type of local street design includes a total right of way of 55 feet with 32 feet of paved travel area accommodating one travel lane in each direction and an 8 foot wide parking lane on one side of the street. A 5 foot wide sidewalk, separated from the street by a 6 1/2 foot wide landscaped parkway, is provided on each side of the street. Local street patterns are generally laid out with an east to west direction allowing for homes to be oriented in a south facing direction on residential lots providing opportunities for energy efficiency. In the event any portion of a local street is gated, the street will be privately maintained. Local streets planned for Montebello Hills are illustrated on Exhibit 5-9, “Local Streets and Lanes Street Sections.”

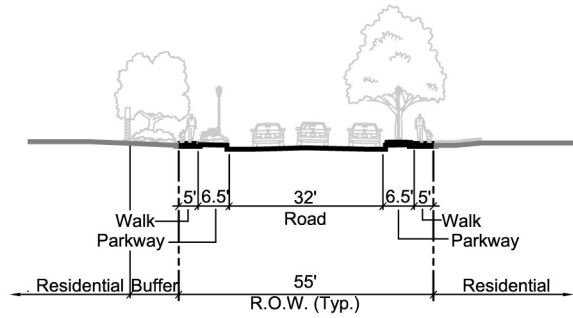
5.1.2.7 Private Lanes

The use of private lanes is anticipated within some residential areas of Montebello Hills. Private lanes serve many types of rear loaded single family detached homes and residential attached home types including townhomes, triplex homes, and stacked flat homes. Private lanes are designed with a total paved travel area of 20 to 24 feet in width with parking prohibited within the paved area. A 3 to 5 foot wide easement is provided on each side of the travel area for landscaping, utilities, and driveway aprons. Private

lanes planned for Montebello Hills are illustrated on Exhibit 5-9, “Local Streets and Lanes Street Sections.”

5.1.2.8 Emergency Access

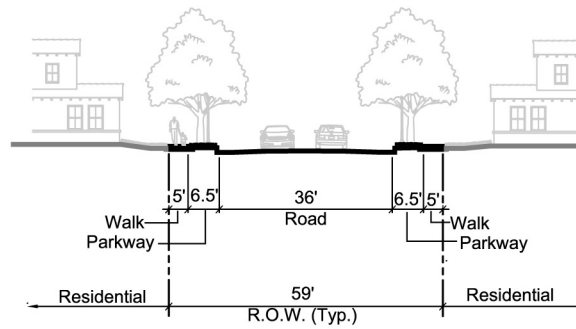
A paved 20 foot wide emergency access road is planned to extend from Collector Street “B” between Planning Areas 3 and 4, around the southerly portion of Planning Area 5, ultimately connecting to Lincoln Avenue. The location of the emergency access road is illustrated on Exhibit 5-1, “Master Circulation Plan.” The emergency access road also serves as a multi-use hiking and biking trail providing connectivity from Montebello Hills to streets connecting with the regional County bike trail along the Rio Hondo River, and the Whittier Narrows Recreation Area.



Local Road - Parking One Side

NTS

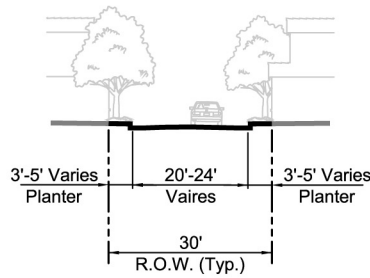
NOTE: TRAVEL WIDTHS SHOWN ARE DIMENSIONED TO CURB FACE.



Local Road - Parking Both Sides

NTS

NOTE: TRAVEL WIDTHS SHOWN ARE DIMENSIONED TO CURB FACE.



Lane - Typical

NTS

NOTE: TRAVEL WIDTHS SHOWN ARE DIMENSIONED TO CURB FACE.

Exhibit 5-9

Local Streets and Lanes Street Sections

5.1.3 Traffic Calming

The circulation system for Montebello Hills provides for traffic calming within the community to slow traffic and reduce traffic noise within streets contributing to safe and livable neighborhoods in which to walk, bike, and drive.

Traffic calming within Montebello Hills is designed to address the following:

- Reduction in traffic speeds.
- Reduction in traffic related noise.
- Reduction in cut-through traffic.
- Creation of a safe and pedestrian friendly circulation system to encourage walking.
- Provision for non-restricted access for emergency service vehicles such as police, fire, and ambulances.

Commonly identified factors affecting traffic speeds according to the Institute of Transportation Engineers (ITE) are those that influence the driver's perception of the roadway such as:

- Type of adjacent development and distance of development from the roadway.
- Frequency of access points onto the roadway.
- Roadway alignment and curvature.
- Type and massing of landscaping adjacent to the roadway.
- Frequency of traffic control devices along the roadway.
- Narrowness of travel lanes.

The following techniques to promote traffic calming are incorporated into the design of the Montebello Hills circulation system:

5.1.3.1 Roundabouts

Roundabouts are incorporated into street design as a traffic calming and traffic noise reduction device. The use of roundabouts rather than conventional all-way stop intersections maintains traffic flow by requiring traffic entering the roundabout to yield to traffic traveling within the roundabout. The lack of stop signs allows entering traffic to merge with the flow of traffic. Roundabouts are planned at two locations within the community, each designed to address specific traffic characteristics and circulation needs. The conceptual design for roundabouts planned for Montebello Hills is illustrated on Exhibits 5-10 and 5-11, "Roundabout Conceptual Design."

5.1.3.2 Local Street Design

Local streets within Montebello Hills are designed with extensive landscaping on either side of the street within parkways to add interest in the street, encouraging drivers to slow their travel speed and observe their surroundings. Landscaping adjacent to streets within the community combine the use of shade trees, shrubs, and groundcover adjacent to sidewalks to create a more intimate streetscape, encouraging drivers to reduce driving speeds. The landscape concept for Montebello Hills is designed to contribute to a sense of the street system as a pedestrian-protected area to promote slower traffic speeds.

5.1.3.3 Private Lanes

Private lanes within the Specific Plan area consist of a 20 to 24 foot wide paved travel area, with parking prohibited on both sides of the lane. Speeds for traffic entering the lanes and cut-through traffic can be reduced by incorporating tapers at the entrance to these lanes. Narrowed paved widths for the private lanes will produce the effect of traffic calming and slower speeds.

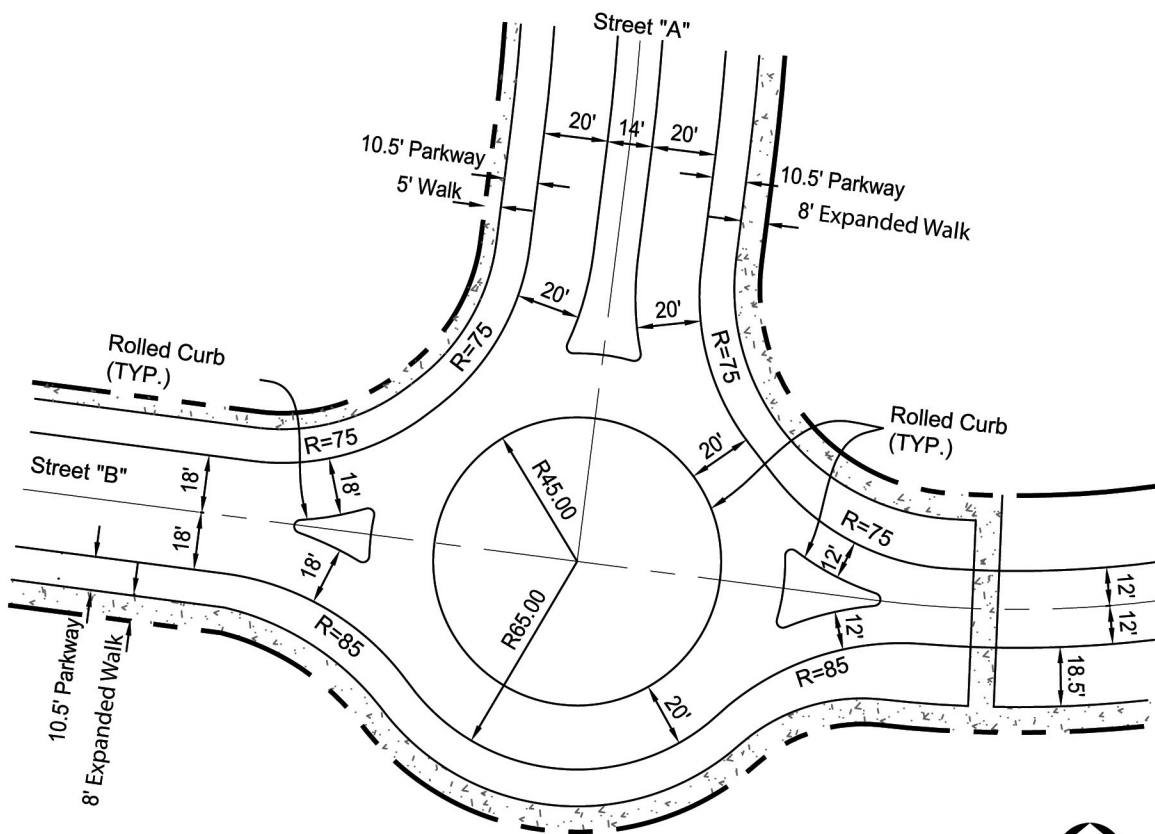
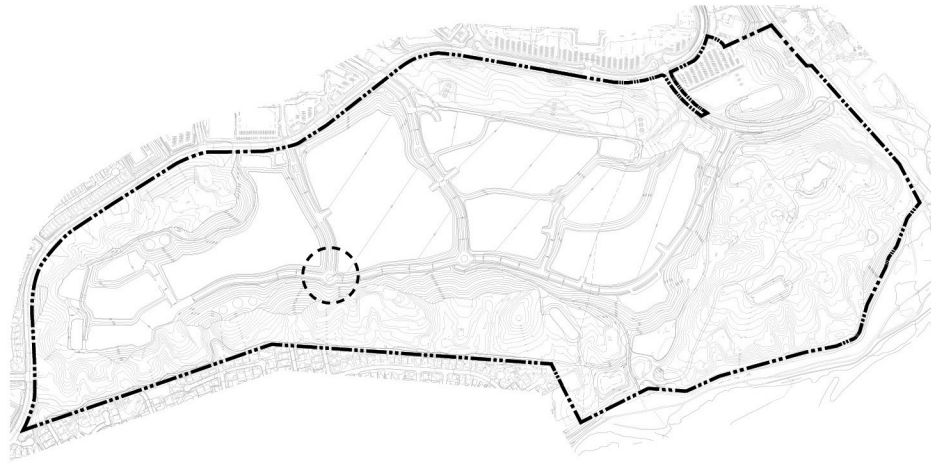
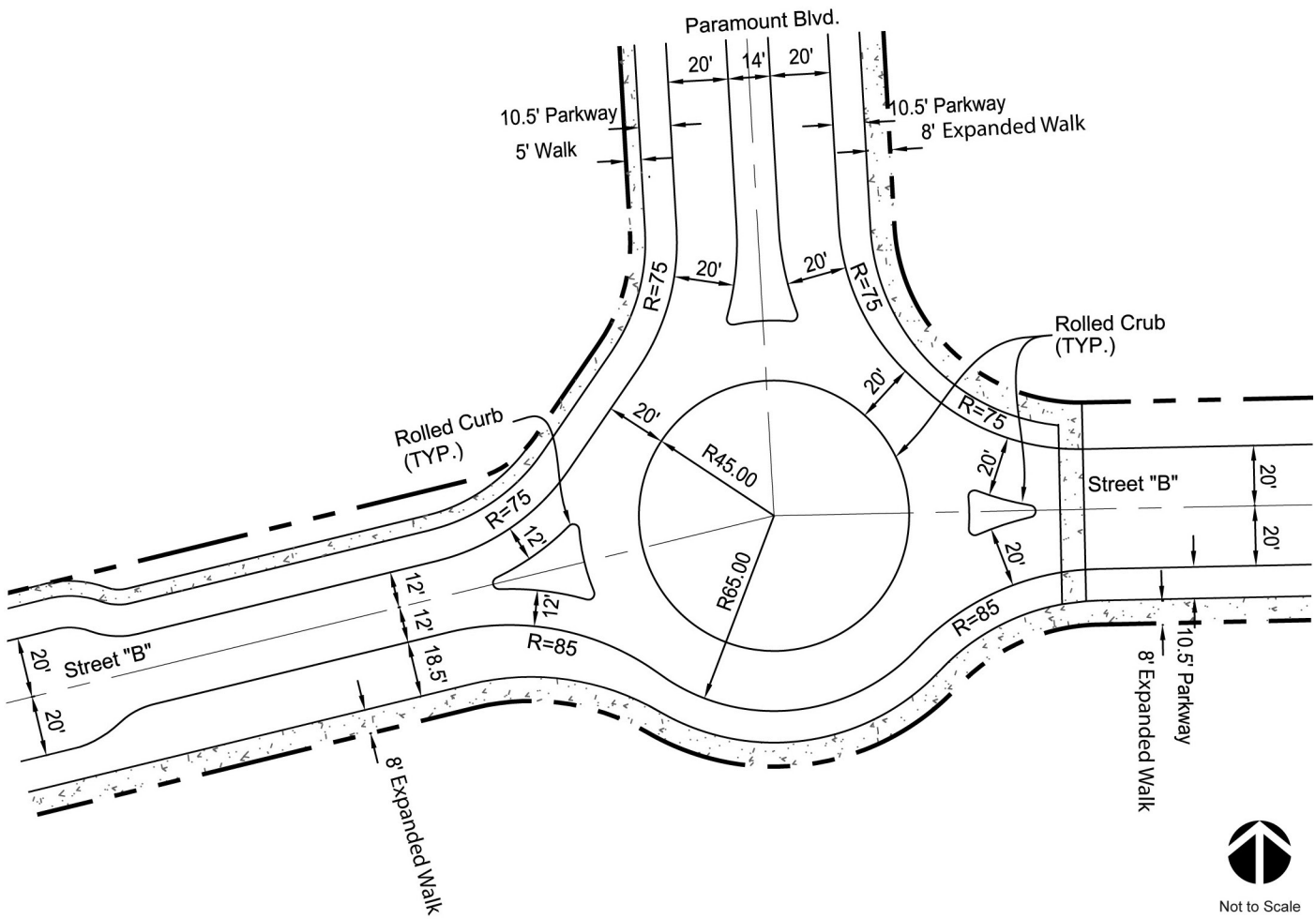
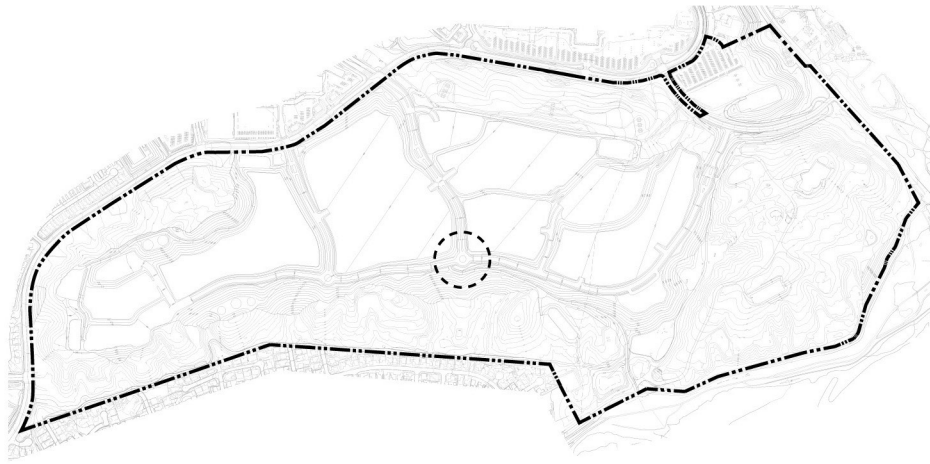


Exhibit 5-10
Roundabout Conceptual Design



Not to Scale

Exhibit 5-11
Roundabout Conceptual Design

5.1.3.4 Street Tapers

Local streets and some segments of the collector street within the Montebello Hills Specific Plan area will incorporate street curb and pavement “tapers” which will transition the paved areas to a minimum of 24 feet in width, with parking prohibited on both sides. The narrowed paved segment will continue for a distance and then transition back to a full street paved width with parking allowed. Street tapers are a proven method of reducing speeds, with the added benefit of increasing parkway landscaping widths.

5.1.4 Pedestrian and Bicycle Circulation Plan

Pedestrian walkways and off-street multi-use trails form a comprehensive circulation system for bicycle and pedestrian accessibility throughout the Specific Plan area. The Montebello Hills pedestrian and bicycle circulation system provides connectivity among residential Planning Areas and provides connectivity to off-site sidewalks and trails linking the community to shopping, City parks, regional trails, recreations areas, and nearby residential neighborhoods. The plan for pedestrian and bicycle circulation as part of the development of Montebello Hills is illustrated on Exhibit 5-12, “Pedestrian and Bicycle Circulation.”

5.1.4.1 Pedestrian Circulation

Pedestrians will have access along the collector streets within the Specific Plan area, either on the 5 foot wide sidewalk or the 8 foot wide expanded walk separated from the street by a landscaped parkway. Local streets within each Planning Area will have sidewalks on both sides of the street separated by a landscaped parkway. Additionally, off-street pedestrian paths connecting blocks within neighborhoods, adjoining neighborhoods and parks, will be provided, potentially on slopes between pads, spaces between lots, and on streets, where lots have vehicular

access from rear lanes. The comprehensive pedestrian circulation plan for Montebello Hills is illustrated on Exhibit 5-12, “Pedestrian and Bicycle Circulation.”

A network of multi-use trails adjacent to open space is planned to provide pedestrian linkages around the perimeter of and through the Specific Plan area. A signature feature of the Montebello Hills Specific Plan is the provision of the “Scenic Promenade,” an expanded landscaped parkway and walkway, planned adjacent to the southerly boundary of the residential development area, running east to west, adjacent to the open space. All community trails lead to the “Scenic Promenade.” Along the south side of Montebello Boulevard at the intersection of Jefferson Boulevard, an 8 foot wide trail extends to the community entrances at Collector Street “A” and Paramount Boulevard. The 8 foot wide trail extends through the Specific Plan area up the west sides of Collector Street “A” and Paramount Boulevard, connecting to the “Scenic Promenade.” Two additional trail connections are available from Montebello Boulevard west of the Collector Street “A” entrance and at the Paramount Boulevard entrance near the site for the proposed public park. The Collector Street “A” connection loops around the west side of the Specific Plan area, providing views to the west. The connection located near the public park site loops to the east of the Specific Plan area, providing views to the east, and connects to Plaza Drive and the “Scenic Promenade.” General public access is prohibited within the open space areas due to its use as a Reserve, however, a trail will be provided along the “Scenic Promenade,” through the open space area, to connect to Lincoln Avenue.

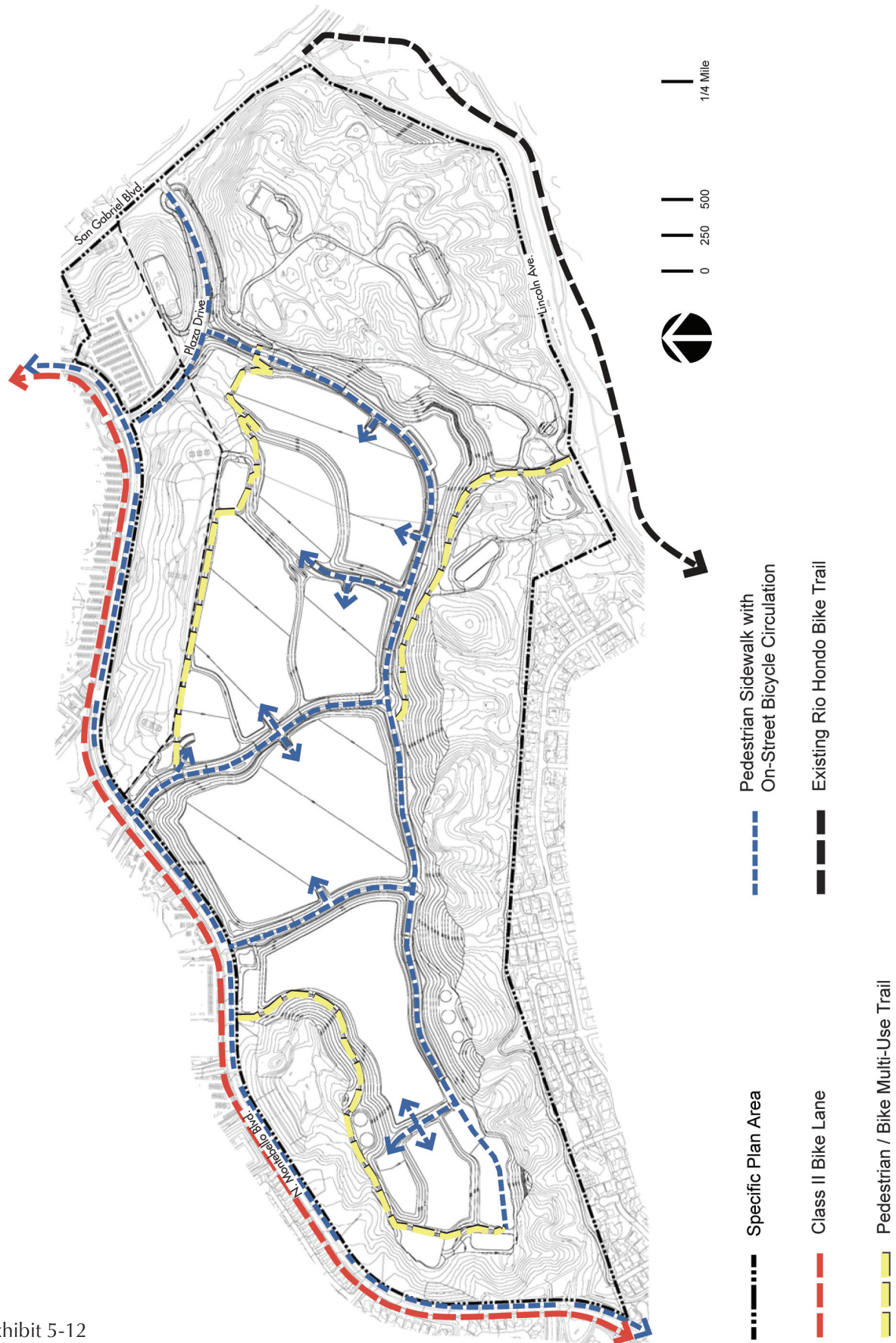


Exhibit 5-12
Pedestrian and Bicycle Circulation

5.1.4.2 Bicycle Circulation

Within the streets of the Specific Plan area, bicycles will share the road with vehicles, as the 8 foot wide expanded walks are not of a sufficient width to provide dual use with pedestrians. The bicycle circulation system will not be a formally designated Class II or Class III route due to the low volume of anticipated vehicular traffic, however, the collector streets will be wide enough to accommodate two lanes of vehicle travel, parking, and bicyclists.

Bicycle access to the perimeter of the Specific Plan area is available from either the multi-use trail system described above, or from one of the three collector streets.

The multi-use trail extending through the open space area, connecting Collector Street “B” to Lincoln Avenue, terminates at the Specific Plan boundary. From the Specific Plan boundary bicyclists can proceed across Lincoln Avenue to the Rio Hondo Trail. Bicyclists can access the Specific Plan area from Montebello Boulevard via the multi-use trails, Collector Street “A,” or Paramount Boulevard. With the widening of Montebello Boulevard, a Class II bike lane will be completed within the roadway right of way connecting to other areas of the City and transit facilities.

5.1.4.3 Transportation Alternatives

The network of publicly accessible expanded pedestrian walkways and multi-use trails planned for Montebello Hills provides pedestrian and bicycle connectivity to the existing and planned transit stops located adjacent to the Specific Plan area providing transit service to the community. Public transit buses will not access the site, however, school buses will be able to access the site providing service to the community.

5.2 Water

The Specific Plan area will be served by the San Gabriel Valley Water Company (SGVWC). The SGVWC has existing facilities within the Specific Plan area including a 0.6 million gallon reservoir. The existing SGVWC facilities are designed to serve a hydraulic grade line of approximately 450 feet above mean sea level (amsl). The highest service elevation planned as part of development of Montebello Hills is approximately 540 feet amsl, and the lowest service elevation is approximately 330 feet amsl. The hydraulic grade line of the existing water tank is not adequate to serve any portion of the Specific Plan area under a gravity condition. For this reason, construction of on-site pumping facilities, on-site reservoir storage, and offsite facilities are required as part of project development in order to provide water service to the Specific Plan area.

The Montebello Hills Specific Plan area is divided into two new pressure zones, a “Low Zone” and a “High Zone” established in accordance with SGVWC hydraulic criteria.

5.2.1 Facilities

The Low Zone has an ultimate Hydraulic Grade Line (HGL) of 565 feet amsl and can provide water to areas between the elevations of 330 feet amsl and 420 feet amsl. Water facilities constructed as part of project development to provide service to both pressure zones include new reservoirs, pumping stations, and water mains. At present, SGVWC requires that these reservoirs be located above ground. The project EIR will contain information on the aesthetic impacts of locating reservoirs above ground and will recommend appropriate mitigation measures.

The High Zone has an ultimate HGL of 700 feet amsl providing water to the Specific Plan area located between the elevations of 420 feet amsl and 540 feet amsl. New water facilities planned to serve the High Zone include a new booster pump station to pump water from one of the reservoirs constructed as part of the Low Zone system to a closed loop system. This pump station is anticipated to have a constant speed fire flow pump, a variable frequency drive duty pump to meet peak hour demands, and a second variable frequency drive standby pump. Because the High Zone is a closed loop system, the duty and standby pumps are sized to meet the peak hour demands. Reservoir storage capacity for the High Zone is available from the two new reservoirs constructed as part of the Low Zone system.

Pipelines planned for construction to serve residential Planning Areas consist of 8 inch and 12 inch mains sized to provide an operational velocity of 6 feet per second (fps) and a fire flow velocity of 10 fps.

The water master plan for Montebello Hills is illustrated on Exhibit 5-13, “Water Master Plan.”

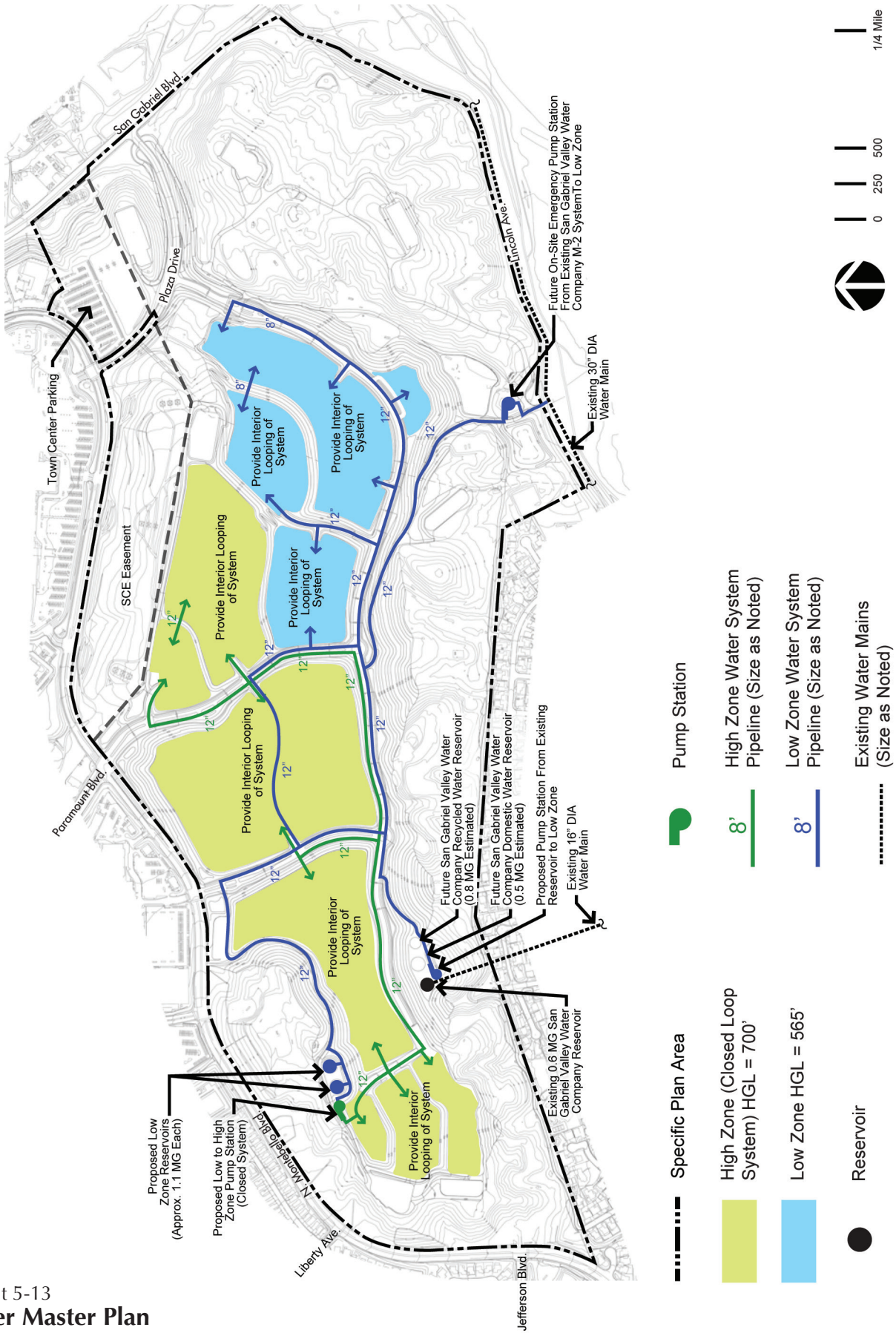


Exhibit 5-13
Water Master Plan

5.2.1.1 Reservoirs

Two new reservoirs will be constructed on-site with approximately 1.1 million gallons of storage capacity per reservoir for a total storage capacity of 2.2 million gallons. These reservoirs are planned to serve the Low Zone under gravity flow conditions and can serve the High Zone because the High Zone is a closed loop system. One reservoir is planned for construction as part of the first phase of development and the second reservoir is planned for construction at the time that additional development warrants the additional water storage. Reservoirs will be screened as permitted by the USFWS.

At completion of the construction of the water facilities for Montebello Hills the total water storage capacity can provide for operational storage, emergency storage, and fire flow storage. The combined 2.2 million gallon reservoirs planned for construction provide storage capacity as described below.

Operational Storage	50% of maximum day demands
Emergency Storage	50% maximum day demand
Fire Flow Storage	Highest fire flow requirement within the zone

5.2.1.2 Pumping Stations

A new pump station pumping from an existing 0.6 million gallon reservoir to the planned two new reservoirs is planned to serve the Low Zone. The new pump station is planned for construction as part of the first phase of development within Montebello Hills and is anticipated to include a fire flow pump, a duty pump to meet maximum day demands, and a second standby pump.

A second new on-site pump station is planned in the northerly portion of the development near the two proposed 1.1 million gallon reservoirs and will serve the High Zone. The new pump station is planned for construction as part of the first phase of development within Montebello Hills anticipated to include a fire flow pump, a duty pump to meet maximum day demands, a second standby pump and a standby generator.

A third pump station will be located in the south-easterly portion of the development adjacent to the utility access road that intersects Lincoln Avenue and will serve the Low Zone. The new pump station will serve as an emergency source of supply for the project and is planned for construction as part of the last phase of development within Montebello Hills. The new pump station is anticipated to include a duty pump. A fire flow pump is not proposed with this facility.

5.2.2 Reclaimed Water

The project has been planned to include a reclaimed water system parallel to the domestic water system and a location set aside for a future reclaimed water tank and pump station. The reclaimed water system will consist of local waterlines only and will irrigate public right of way landscaping, including medians and common use areas, within Montebello Hills. A source of reclaimed water is not presently available to the site, however, at this time, the reclaimed water system will be engineered to accommodate its location within the development. The reclaimed water system may be installed concurrently with the development or at a later date.

5.3 Sewer

The Specific Plan area is located within the wastewater service area of the City of Montebello and is located within the jurisdictional boundaries of County Sanitation Districts of Los Angeles County (Districts) Numbers 2 and 15. The sewer master plan for the development will be designed to service approximately 1,200 residential units, a public park and community center, and planned private facilities. A total of four separate on-site sewer systems will be required to collect and convey wastewater flows, primarily due to the natural topography, grading restrictions, and available points of connections. A total of two separate off-site alternative sewer alignments are proposed to convey flows generated from the Specific Plan area via Paramount Boulevard and Collector Street "A." The two alternative proposed sewer alignments are as follows:

- Alternative 1 consists of an 8-inch and a 12-inch sewer main placed parallel to the existing sewer system located within Montebello Boulevard and north of the Specific Plan area. This sewer alternative proposes to extend the sewer system easterly along Montebello Boulevard between Collector Street "A" and Plaza Drive, then southerly and easterly within Plaza Drive, connecting to a sewer manhole located at the intersection of Plaza Drive and San Gabriel Boulevard.
- Alternative 2 is similar to Alternative 1 with the exception that the portion of sewer main between Town Center Drive and Plaza Drive is planned to extend easterly north of and parallel to Montebello Boulevard.

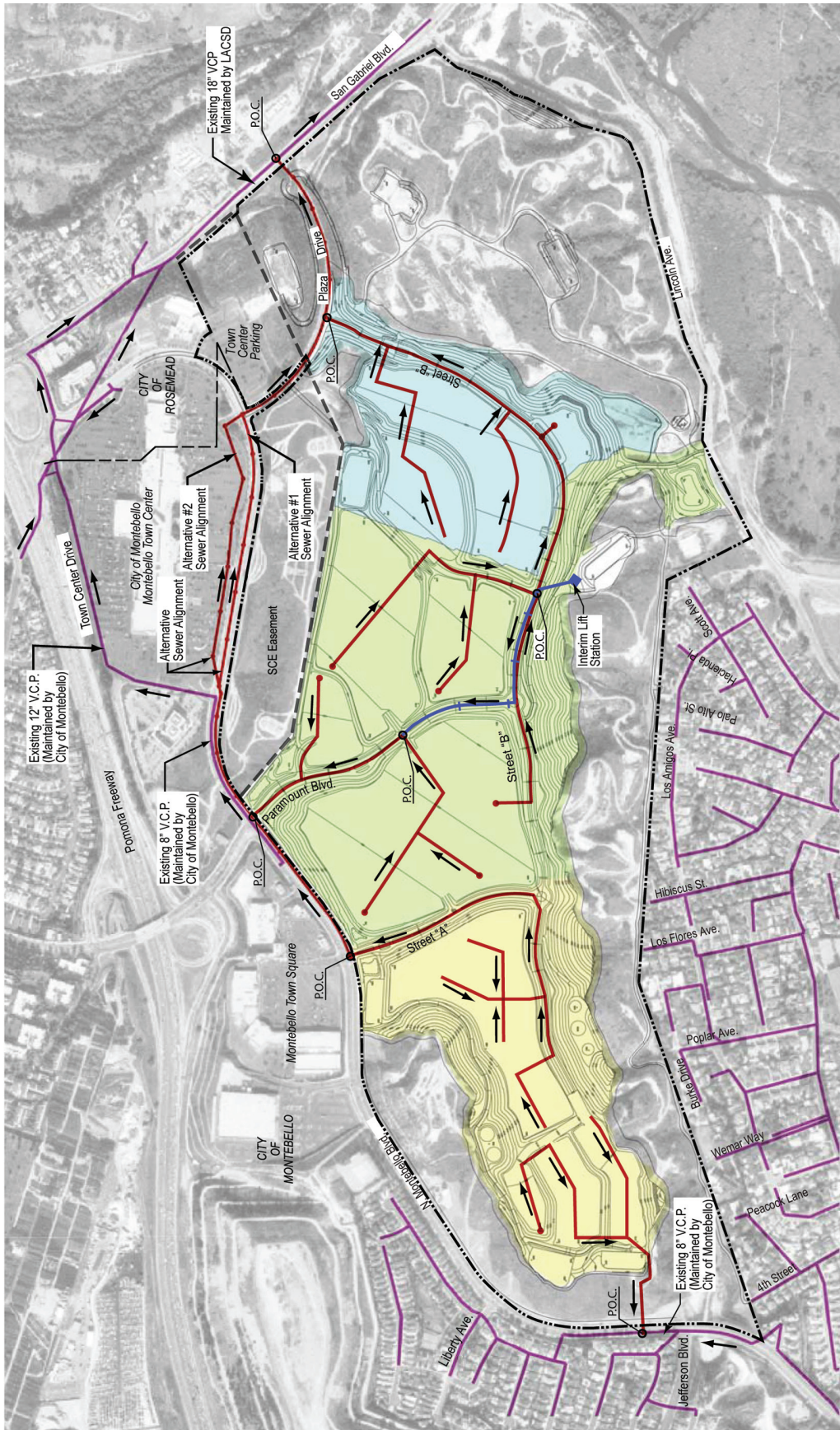
All sewer facilities will be gravity lines. No permanent pumping facilities are proposed. Sewer flow generations were estimated for each wastewater system based on land use and the Districts'

wastewater loading factors. For planning purposes a peaking factor of 2.5 was used to estimate peak flows and size proposed facilities.

The sewer master plan for the Specific Plan area consists of 8-inch sewer pipes and 48-inch diameter manholes. Main sewer points of connection include one connection to the west of the project, a connection to the north, and two connections to the east of the Specific Plan area. The sewer connection to the west of the Specific Plan area will be made to an existing 8-inch line located south of Liberty Avenue along Montebello Boulevard which is owned and maintained by the City of Montebello. The other connections on the north of the Specific Plan area will be located at the intersection of Paramount Boulevard and Montebello Boulevard connecting to a proposed 8 to 12-inch off-site sewer line. The project's other two points of connection include one at the intersection of Plaza Drive and Collector Street "B" and one at the Districts' 18-inch trunk sewer outfall facility located at the intersection of North San Gabriel Boulevard and Plaza Drive.

Preliminary analysis based on available planning information indicates that the existing City and Districts' wastewater facilities have capacity to convey the flows generated from the proposed development. In addition, to verify sewer flows for the existing development flow, monitoring procedures for the proposed project were completed in August 2008. A final flow monitoring report has been submitted to the City of Montebello for review. Peak sewer generation for the ultimate developed project is approximately 0.57 million gallons per day (MGD), and an average daily flow is estimated at 0.23 MGD. Sewer flows generated from the proposed development will be treated by the Joint Water Pollution Control Plant located in the City of Carson, which has a design capacity of 400 mgd and currently processes an average flow of 313.7 mgd, or Los Coyotes Water Reclamation Plant located in the City of Cerritos, which has a design capacity of 37.5 mgd and currently processes an average flow of 22.6 mgd.

The Sewer Master Plan for the Specific Plan area is illustrated on Exhibit 5-14, "Sewer Master Plan."



Scale: 0, 250, 500, 1/4 Mile

North Arrow

- Specific Plan Area
- Existing Sewer
- Proposed Sewer
- Phase B Interim Sewer Line & Lift Station
- P.O.C.
- Direction of Flow
- Sewer Phase A
- Sewer Phase B
- Sewer Phase C

Exhibit 5-14
Sewer Master Plan

5.4 Drainage

Approximately 273 acres of the Specific Plan area currently drains to the impoundment area behind the Whittier Narrows Dam. Approximately 215 remaining acres drain in a southerly direction to several existing storm drains located near the southerly boundary of the Specific Plan area which are maintained by the City of Montebello and the Los Angeles County Department of Public Works. The existing storm drains are tributary to the Rio Hondo Channel located downstream of the Whittier Narrows Dam. The existing drainage conditions are illustrated on Exhibit 5-15, "Drainage Area Index Map, Pre-Development." The drainage conditions resulting from development of Montebello Hills are illustrated on Exhibit 5-16, "Drainage Area Index Map, Post-Development."

The development of Montebello Hills results in the diversion of approximately 105 acres to the Whittier Narrows Dam impoundment area. The chart below compares the existing watershed condition to the condition after completion of development.

Watershed Comparison Chart		
	Existing Condition	Developed Condition
Approximate area drainage to Whittier Narrows Dam (USACE)	273 acres	378 acres
Approximate area draining to City of Montebello/LA County Dept. of Public Works (Rio Hondo, d/s of Whittier Narrows Dam)	215 acres	110 acres
Total Project Area	488 acres	488 acres

Studies completed as part of the preparation of the Specific Plan comparing the storage capacity of the Whittier Narrows Dam versus historical flood records indicate that the diversion of the flows from the development has no significant effect on the Whittier Narrows Dam. Additional detailed drainage studies are required to be submitted by the applicant for City review as part of the City's approval of tentative tract maps for development.

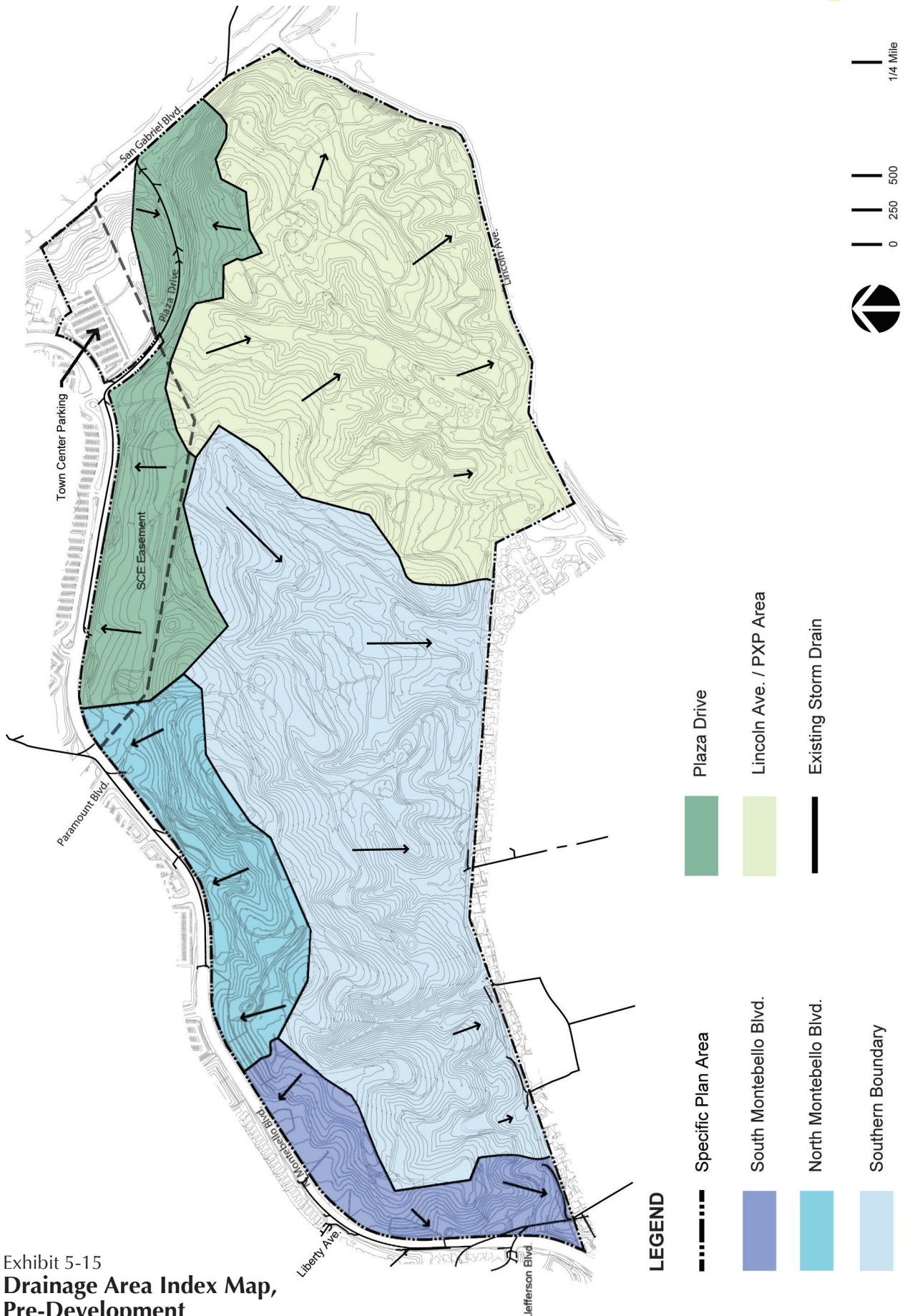


Exhibit 5-15
**Drainage Area Index Map,
 Pre-Development**

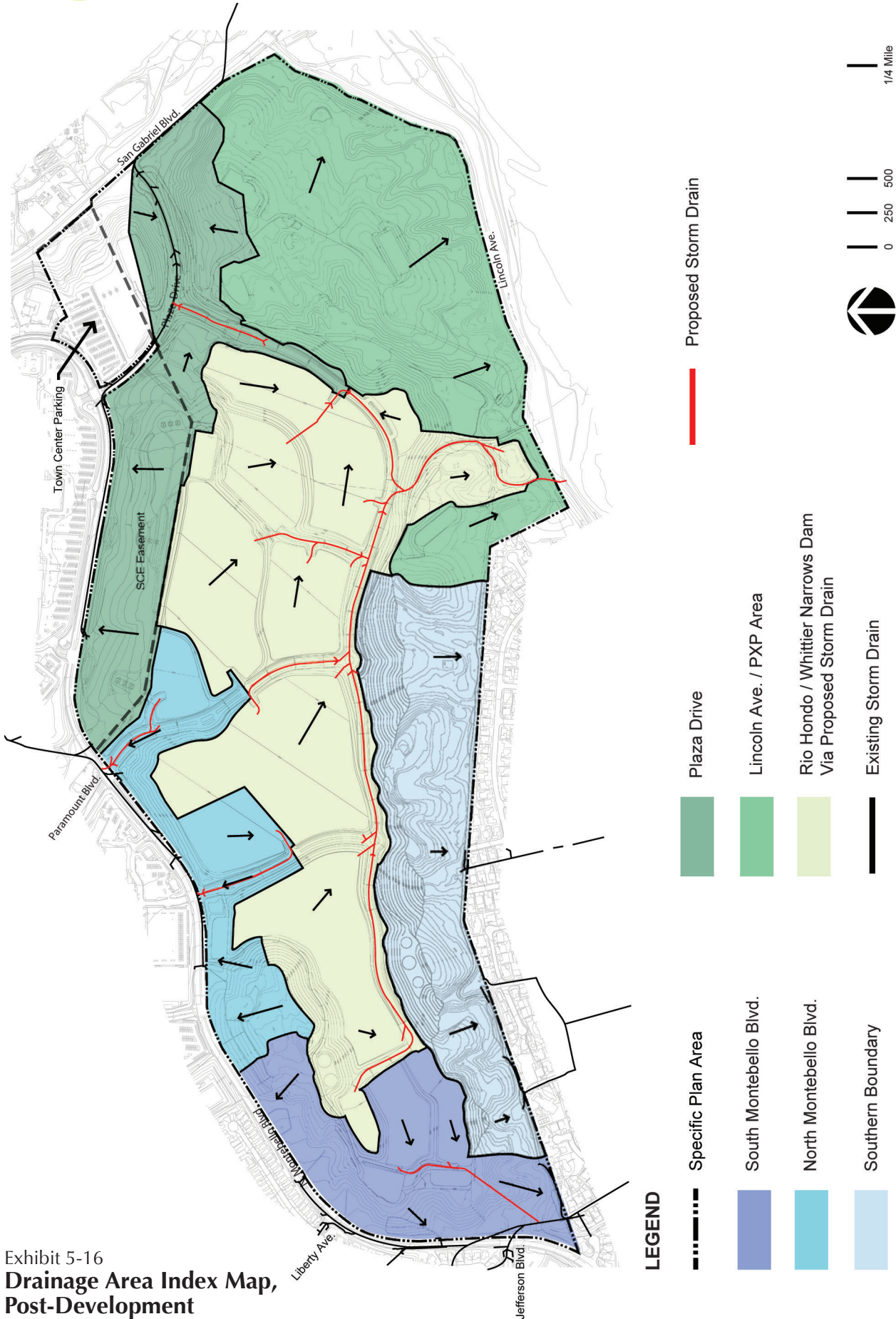


Exhibit 5-16
**Drainage Area Index Map,
 Post-Development**

The drainage plan for the Specific Plan area includes the collection of a majority of the drainage by a storm drain system consisting of new 18 inch, 24 inch, 36 inch, 48 inch and 60 inch storm drain pipes and the subsequent conveyance of drainage directly to the Whittier Narrows Dam impoundment area. The public storm drain system will be maintained by the City of Montebello, while catch basins will be maintained by the community's homeowner association (HOA). The drainage plan includes a low flow diversion pipe extending from the main storm drain to convey dry weather and high frequency, low intensity storm flows from the residential development to a new unlined, water quality detention basin located near the southerly boundary of the Specific Plan area north of Lincoln Avenue to be HOA maintained. This basin has been designed to detain and provide water quality treatment for 6.2 ac-ft of required water quality volume, as well as providing 1.2 ac-ft of additional capacity for bulking requirements, for a total capacity of 7.4 ac-ft. Flows from the oil and gas production areas of the site will not be directed to this water quality basin. This basin is designed to satisfy the Standard Urban Storm Water Mitigation Plan (SUSMP) requirements for Los Angeles County. A small portion of the developed area along the northerly edge of the Specific Plan area is planned to drain to existing storm drains located in Montebello Boulevard and Plaza Drive. Connections to existing City or County storm drain facilities will be equipped with Continuous Deflection Separation (CDS) units. CDS units are structures placed on storm drain lines to capture floatable trash/debris and sediment from a larger drainage area. The units use a vortex action created by the hydraulic energy of incoming flow to separate trash/debris and sediment from the flow. The treated flow will then be discharged to the storm drain system. During very high volume storm events, the units are equipped with a bypass system to prevent

upstream flooding. Maintenance for the CDS units and bypass pipes will be provided by the HOA.

Studies prepared as part of the preparation of the Specific Plan indicate that the discharges to the Whittier Narrows Dam impoundment area resulting from the development of Montebello Hills to the dam have no significant impact the Whittier Narrows Dam. Additional detailed drainage studies are required to be submitted by the applicant for City review as part of the City's approval of tentative tract maps for development.

The Montebello Hills drainage master plan system significantly reduces the volume of storm water runoff flowing to storm drains and existing residential properties located near the southerly boundary of the Specific Plan area, in addition to limiting the need for on site detention basins.

The proposed drainage plan, with projected conceptual "backbone" storm drain alignments for the Montebello Hills Specific Plan area is illustrated on Exhibit 5-17, Drainage Master Plan."

5.5 Grading

The Specific Plan area is comprised of moderately sloping hill forms and small canyons that are quite steep in some locations. The majority of the existing terrain slopes toward the south and southeast. The elevation ranges between 210 feet above mean sea level in the southeastern area of the site to 598 feet above mean sea level in the northwest. The Specific Plan area has been in continuous oil operation since 1917 and is still an actively producing oil field. As a component to obtaining entitlement for the property, the grading concept is designed to have the least amount of impact on the California gnatcatcher and its habitat. The ability to grade areas populated by the California gnatcatcher is controlled by the USFWS. Grading of the Specific Plan area will conform to the requirements of the USFWS. A Biological Opinion prepared by the USFWS describes allowable areas of disturbance for both the California gnatcatcher and its habitat. The combined site constraints resulting from continued oil operations, the California gnatcatcher, and its habitat have defined the areas of development within the Specific Plan area.

The grading operation for the Specific Plan area will take place in three distinct grading phases starting on the westerly portion of the Specific Plan area and moving eastward. Approximately 6 million cubic yards of mass grading are anticipated. Each phase of grading is anticipated to balance cut and fill within the phase area and will disrupt a limited area to insure the lowest amount of impact to the California gnatcatcher and its habitat. The manufactured slopes will undulate and emulate the existing land forms. The primary use of indigenous plant material will blend the graded slopes along the edges of the site into the existing topography. The quantities estimated for mass grading operations

within the Specific Plan area are illustrated on Exhibit 5-18, “Estimated Earthwork Quantities.”

The proposed grading will alter the existing elevations by lowering the highest elevation by 100 feet and raising the canyon areas along the southern edge approximately 110 feet. The horizontal distance between the southern edge graded slopes and the La Merced neighbors located to the south will vary between 250 and 600 feet. The average vertical difference between the existing neighborhoods and the proposed residential area ranges between 100 to 185 feet.

The topographic characteristics and qualities of the Specific Plan area lend themselves to the design of unique neighborhoods promoting a sense of place for the Montebello Hills community. The thematic landscaped entry project streets intersecting with Montebello Boulevard, Paramount Boulevard, and Plaza Drive will have an average grade of 6 percent. Street grades planned to exceed 8 percent are subject to approval by the City Engineer. Convenient public pedestrian and bicycle access is provided from these entry roads to the Scenic Promenade, an open space amenity to be developed adjacent to Collector Street “B.”

The Scenic Promenade also serves as a visual buffer between planned residential development areas and the existing residential neighborhoods located to the south of the Specific Plan area. Varied building massing, architectural styles and rooflines will also create interest from off-site views. Perimeter edge grading and planting serve to enhance the transition from the built environment to the natural environment, however, the use of trees will be limited along the edges of habitat areas to minimize their use by raptors and other birds of prey that pose a threat to the California gnatcatcher.

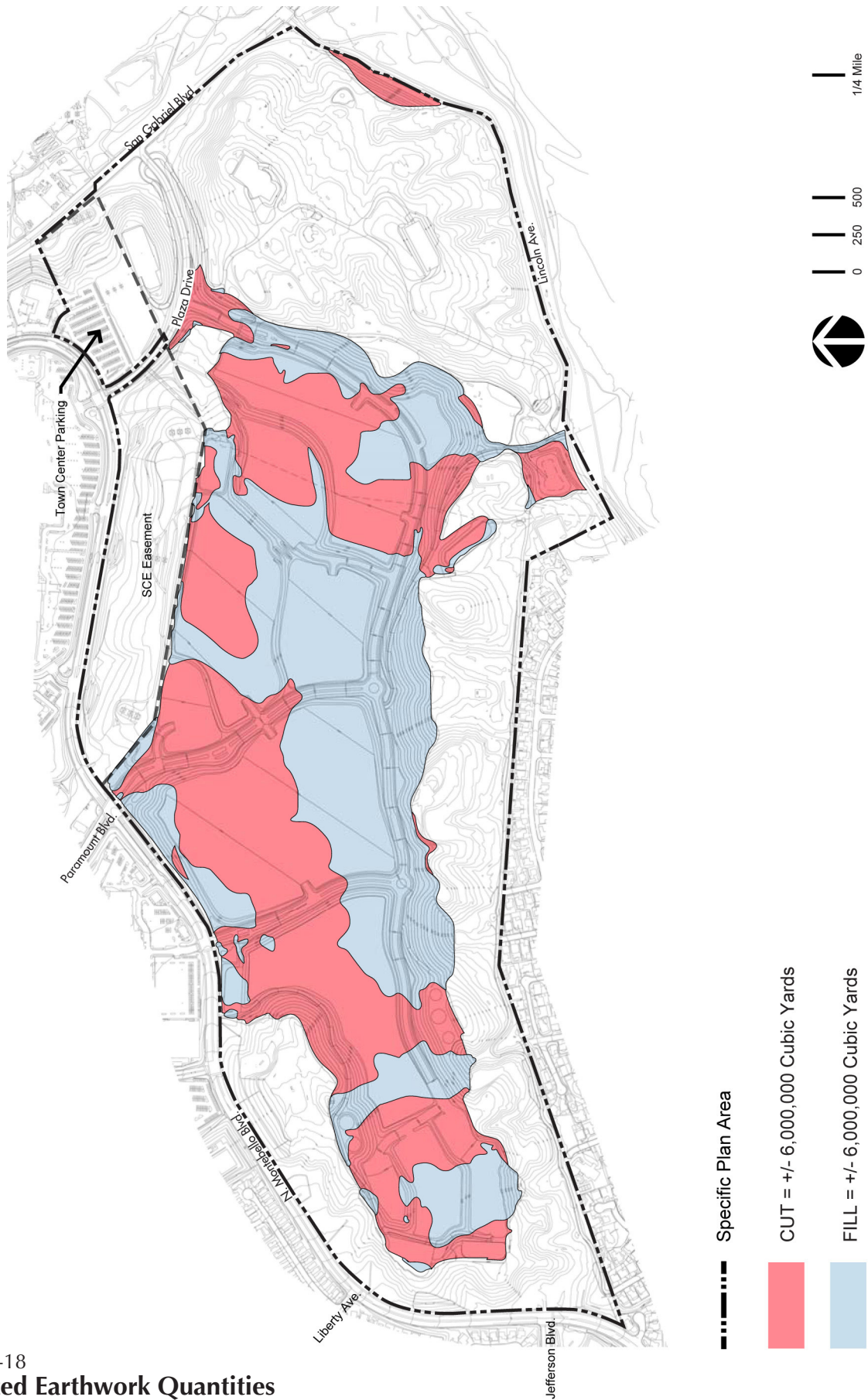


Exhibit 5-18
Estimated Earthwork Quantities

While the preservation and enhancement of open space areas are important features of the grading plan for the Specific Plan area, the protection of the health, safety and welfare of the community is equally important. The grading plan complies with the grading techniques prescribed by the City of Montebello, the Los Angeles County Grading Guidelines, and the terrace drain design criteria contained in the 2007 California Building Code addressing the soil conditions, geotechnical stability and drainage characteristics of the Specific Plan area. The grading plan provides for erosion control and preventative measures for potential natural wild land fire hazards. All remedial grading incorporates the recommendations of geotechnical reports prepared for the Specific Plan. Fire Protection Zones created as part of project development provide safety zones between the open space and the built environment.

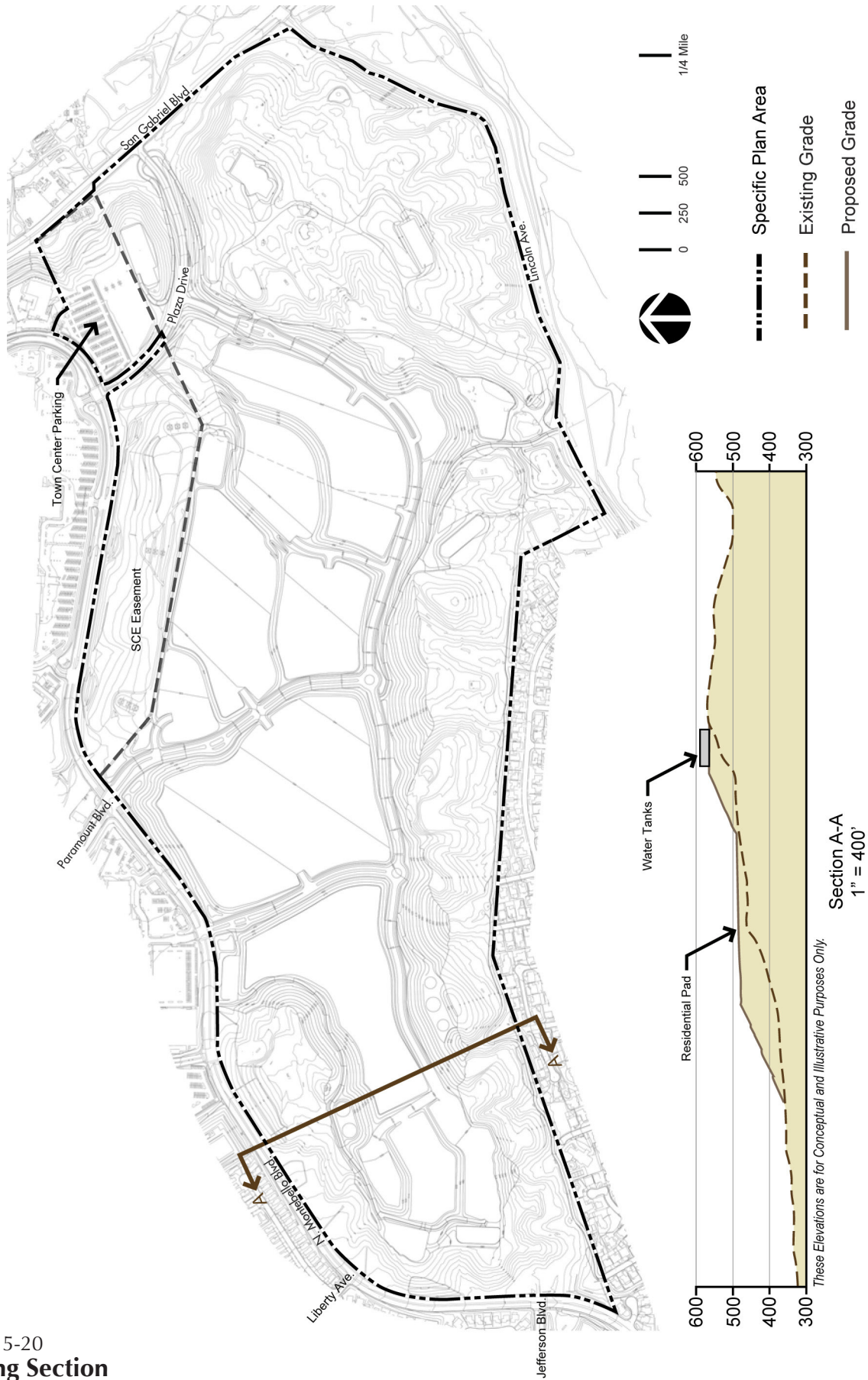
Retaining walls are used sparingly in the new development for stabilizing purposes. Plantable, flexible, retaining walls, such as Verdura walls, reinforced by the use of geotextiles are encouraged for edges abutting the open space areas. All fences or walls adjacent to a public road or a major public area are required to be decorative masonry or other approved materials which have a natural appearance and color that blends with the surrounding environment and complements the landscaping.

Backbone and local streets within the Specific Plan area are of a curvilinear pattern reflecting the topographic features of the Specific Plan area. Streets generally do not exceed 8% grades and are landscaped with parkways between the street and sidewalks. Parkway landscaping incorporates drought tolerant plant material wherever possible.

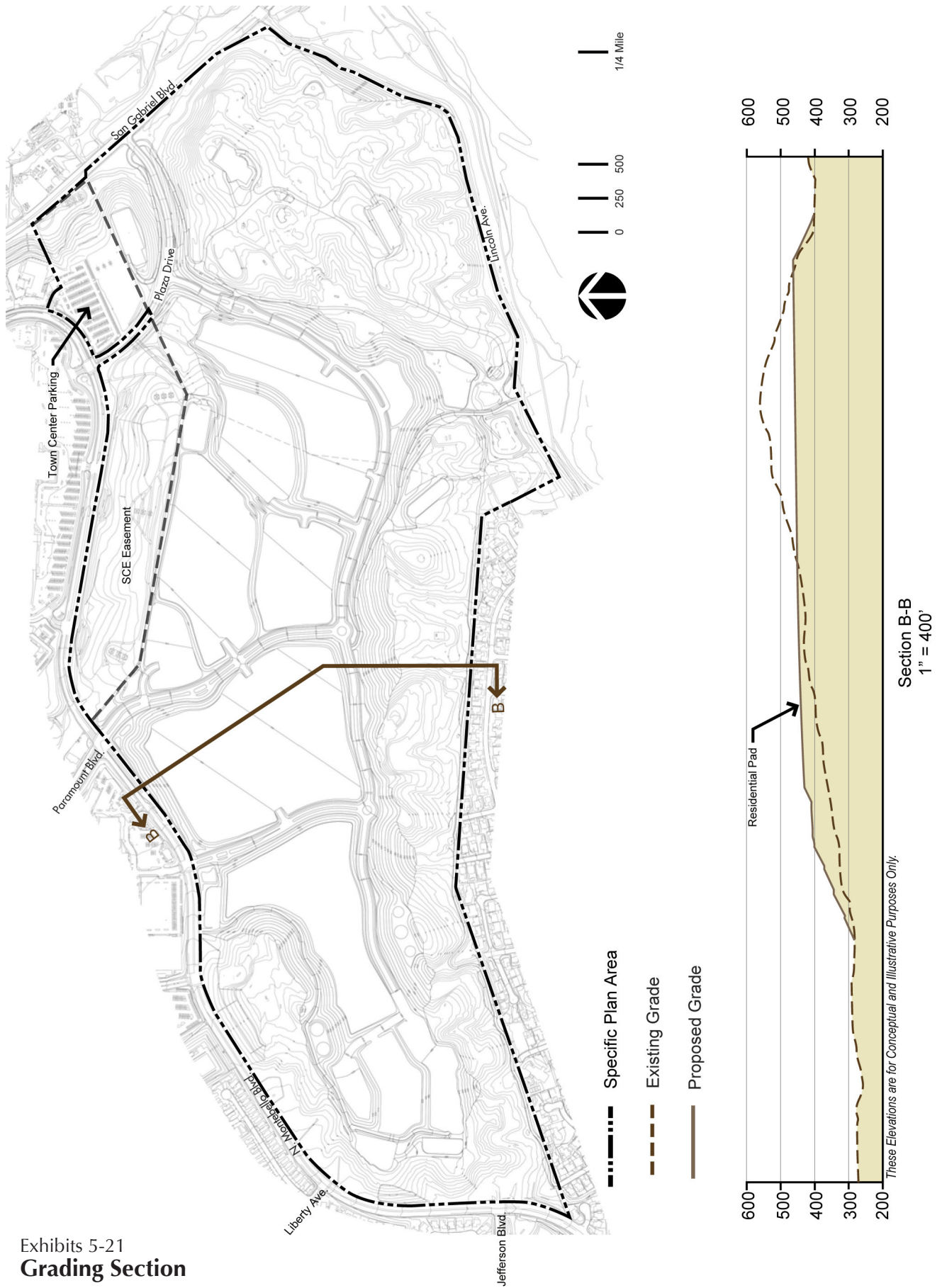
The grading concept for the Specific Plan area is illustrated on Exhibit 5-19, “Conceptual Grading Plan,” and on Exhibits 5-20 through 5-22, “Grading Sections.”

5.6 Schools

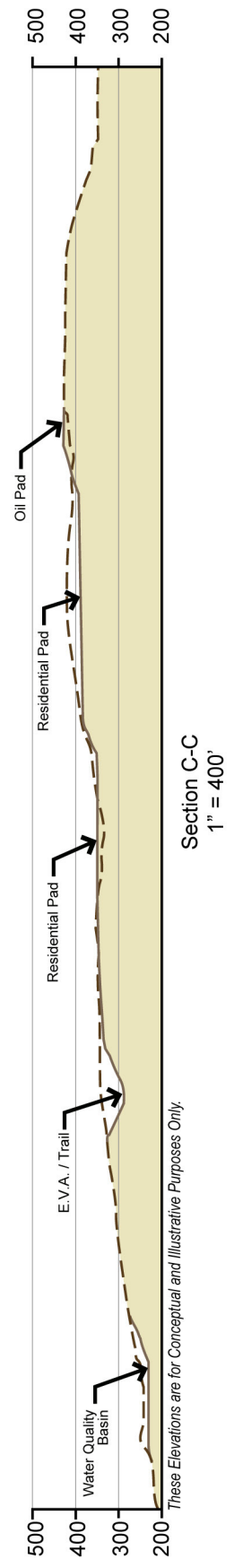
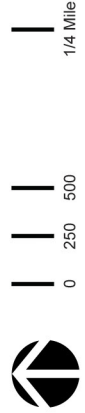
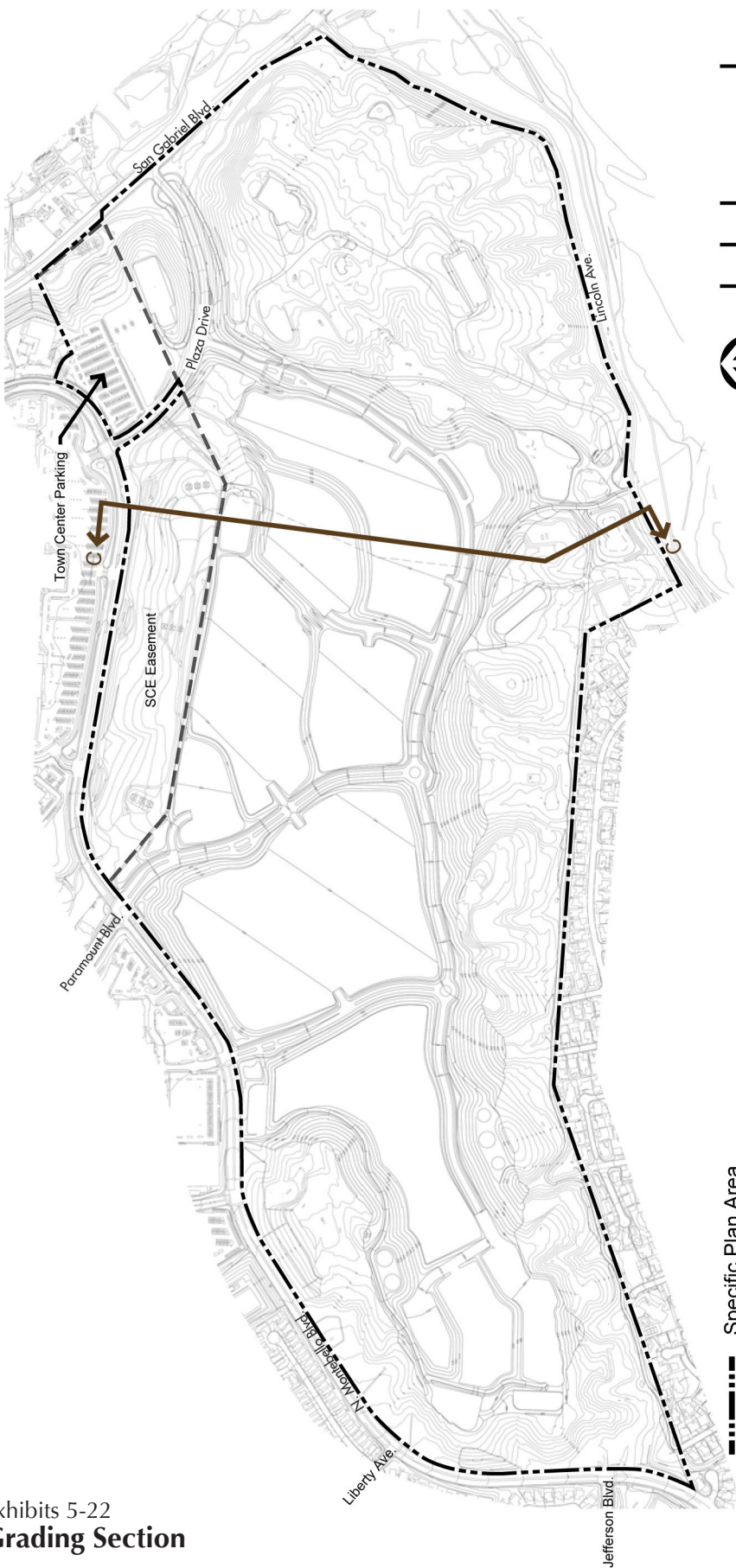
The Montebello School District (District) is the school district serving the K-12 school level needs of the City of Montebello. It is anticipated that students generated from the development of the Specific Plan area will attend private and public schools. The determination of which public school facilities in the vicinity will serve the students attending public schools will be made by the District. The developer of Montebello Hills will pay school mitigation fees as required by the State of California.



Exhibits 5-20
Grading Section



Exhibits 5-21
Grading Section



These Elevations are for Conceptual and Illustrative Purposes Only.

Exhibits 5-22
Grading Section

5.7 Public Utilities and Services

5.7.1 Telephone

AT&T is the telephone service provider for the City of Montebello. Telephone service to the Specific Plan area will be provided by AT&T with all on-site facilities placed underground.

5.7.2 Natural Gas

Southern California Gas Company is the service provider of natural gas to the Specific Plan area. Planned on-site gas facilities are required to be placed underground.

5.7.3 Electricity

Southern California Edison (SCE) provides electricity to the Specific Plan area from existing facilities in the vicinity of the Specific Plan area. Proposed new facilities are required to be located underground.

5.7.4 Technology Wiring

Residential units within Montebello Hills include the latest technology to provide internet access allowing residents to work and shop from home.

5.7.5 Cable

Charter Cable currently provides cable television services to the City of Montebello and to the boundaries of the Specific Plan area. Cable service will be extended to the residential development area of Montebello Hills as part of the development of the Specific Plan area.

5.7.6 Solid Waste

Solid waste disposal services are provided to the City of Montebello under contract by a private service provider. As part of project implementation, the contract with the private service provider will include service to the Montebello Hills community.

Section 6. Development Regulations

6.1 Introduction

The provisions contained herein shall regulate development within the Montebello Hills Specific Plan.

6.2 Definition of Terms

The meaning and construction of words, phrases, titles, and terms shall be the same as provided in the Montebello Municipal Code Chapter 17.08, “Definitions,” unless otherwise specifically provided for in Section 10, “Definitions,” of the Specific Plan.

6.3 Applicability

The development regulations contained herein provide specific standards for land use development within the Montebello Hills Specific Plan area. Regulations address residential land uses, open space land use, public facilities, and landscaping. Continuing oil and gas production operations are governed by Chapter 17.44 and Chapter 5.52 of the Montebello Municipal Code. Application of the following regulations is intended to encourage the most appropriate use of the land, ensure the highest quality of development, and protect the public health, safety, and general welfare. The provisions and development standards contained herein shall take precedence over any conflicting provisions or development standards of the Montebello Municipal Code, except in instances where these regulations are incompatible with state or federal regulations in which case the latter shall prevail. Where the Montebello Hills Specific Plan is silent, City codes and policies shall apply. These regulations shall reinforce specific site planning, architectural design, and landscape design

guidelines contained in Section 8, “Design Guidelines” of the Montebello Hills Specific Plan.

6.4 Administration

The adopted Montebello Hills Specific Plan, serves as the implementation tool for the General Plan, as amended, as well as the zoning for the Specific Plan area. The Montebello Hills Specific Plan Development Regulations address general provisions, permitted uses, and development standards for each land use type planned for development within the Specific Plan area.

6.5 General Provisions

The following provisions shall apply to all land development proposed in Montebello Hills.

1. **Grading** – Development within the Specific Plan area shall utilize grading techniques as prescribed by the City of Montebello and shall conform to the Los Angeles County Grading guidelines and the terrace drain design criteria as prescribed in the 2007 California Building Code. Grading concepts shall respond to the Specific Plan objective to incorporate the natural site features into the design of the community and to address environmental opportunities and constraints, including existing hillside terrain and habitat areas. Grading concepts shall also address the Specific Plan objective of providing for development of a livable community incorporating elements of traditional neighborhood design.

Existing abandoned oil pipelines encountered during grading operations for the residential area will be removed. Grading and pipeline removal is subject to approval by the City of Montebello. Pipeline removal will occur in accordance with the approved Remedial Action Plan and Cal DOGGR requirements.

2. **Building Modification** – Additions and alterations permitted by the Montebello Hills Specific Plan shall match the architectural style of the primary unit and shall be constructed of the same materials, details, and colors as the primary unit.
3. **Utilities** – All new and existing public utility distribution lines of 35.5kV or less shall be subsurface throughout the Specific Plan area.
4. **Telecommunications** – All homes and businesses shall accommodate modern telecommunications technology for computer Internet access, phone, fax, and television. Broadband fiber optics cable will be installed to all the properties.
5. **Transfer of Residential Dwelling Units Among Planning Areas** – The Montebello Hills Specific Plan allocates a maximum number of residential dwelling units for each residential Planning Area as indicated in the “Land Use Summary” Table 4-1, contained within Section 4, “Land Use,” of the Montebello Hills Specific Plan. Variations in the total number of residential dwelling units planned for development within any Planning Area may occur at the time of final design of the Planning Area depending upon the residential product identified for development. An increase of up to twenty percent (20%) in the total number of residential dwelling units assigned to a Planning Area is permitted within the residential Planning Areas of the Montebello Hills Specific Plan, subject to the provisions of Section 7.9, “Transfer of Residential Dwelling Units,” of the Specific Plan.
6. **Best Management Practices** – Development of storm water runoff improvements, within the Montebello Hills Specific Plan, shall adhere to Best Management Practices (BMP’s). Site Design BMP’s may include, but not be limited to, creating landscape strips and landscaped setback areas that can be swaled and depressed to retain and infiltrate irrigation water and runoff from smaller storm events and depressing the park areas to provide storm water infiltration and water quality treatment. Where appropriate, common area landscaping and parks shall be designed to function as a series of shallow storm water treatment basins and infiltration zones for storm water runoff from surrounding areas wherever moderately well draining soils exist.
7. **Maximum Number of Dwelling Units** – A maximum of 1,200 residential dwelling units is permitted for development within the Montebello Hills Specific Plan.
8. **Solid Waste/Recycling** – Development of residential land uses within the Montebello Hills Specific Plan area shall comply with City requirements for the provision and placement of solid waste and recycling receptacles.
9. **Enforcement** – All conditions, requirements, and standards indicated graphically or in writing as part of any approved discretionary permit or detail plan granted by authority of these regulations shall have the same force and effect as these regulations. Any use or development established as a result of such approved permit or plan but not in compliance with all such conditions, requirements, or standards shall be in violation of this Specific Plan. The provisions of Chapter 17.06 “Administration, Licensing, and Enforcement,” of the Montebello Municipal Code shall apply to this Specific Plan.
10. **Park Requirements** – Local park land dedication or payment of park fees shall be made in accordance with the provisions of the Montebello Hills Development Agreement.

11. **Planning Area Boundaries** – Planning Area boundaries are conceptually indicated on Exhibit 4-1, “Land Use Plan.” Final Planning Area boundaries shall be determined at the time of approval of a tentative subdivision map.
12. **Oil and Gas Production (O) District** - Existing and future oil production and storage facilities are permitted within the Montebello Hills Specific Plan area as the Specific Plan includes the Oil and Gas Production (O) District, as part of the zoning designation of the Montebello Hills Specific Plan. Existing oil production and storage facilities are regulated in accordance with the regulations contained in Chapter 17.44, “Oil and Gas Production District,” and Section 5.52, “Oil and Gas Drilling,” of the Montebello Municipal Code. Existing oil production facilities are subject to inspection by Cal DOGGR. A copy of Chapter 17.44 (0) “Oil and Gas Production District” of the Montebello Municipal Code is included as Appendix 1 of the Specific Plan.
13. **Setback From Abandoned and Active Oil Well Heads** – All habitable spaces within the residential development area of the Specific Plan area shall be set back a minimum of ten (10) feet from any abandoned oil well head and a minimum of one hundred (100) feet from any active well head.
14. **Gating** – Gating of either the community, or of individual neighborhoods within a residential Planning Area, is permitted based on the determination by the developer that market conditions warrant such gating. The location of any proposed gates will be reviewed and approved by the City as part of either a tentative tract map application or as part of a site plan review application.
15. **Screening** – Roof mounted equipment such as, but not limited to, air conditioning, heating, ventilating ducts, and exhaust

pipes shall be screened from view from any abutting street. Ground mounted mechanical equipment such as landscaping irrigation equipment, backflow preventers, and meters located in public or common areas shall be screened from view to the extent feasible. Above ground water reservoirs located in open space areas shall be screened as permitted in accordance with USFWS requirements.

16. **Flag Lots** – The access corridor to a flag lot shall have a minimum width of 25 feet at its narrowest point. The lot area beyond the access corridor shall comply with the minimum lot width and depth criteria as specified in Table 6-1, “Single Family Detached Residential Development Standards,” of the Specific Plan.

6.6 Residential Development Standards

6.6.1 Single Family Detached Residential Dwellings

6.6.1.1 General

This category includes the development of residential detached dwelling units. The purpose of the residential standards for detached housing is to establish the minimum criteria for the development of this housing type within the Specific Plan area. These development regulations provide criteria allowing for development of a wide variety of detached residential home types developed either on fee simple lots or as condominium style detached residential dwellings, including but not limited to:

- Front Loaded Estate and Conventional Detached Dwellings.
- Lane Loaded Cottage Detached Dwellings.
- 2 Pack and 3 Pack Detached Dwellings.
- Cluster Detached Dwellings.
- Courtyard Detached Dwellings.

6.6.1.2 Permitted Uses and Structures

1. Detached residential dwellings developed either on fee simple lots or as condominiums as defined in Section 10, “Definitions,” of the Specific Plan, and associated parking garages and carports.
2. Public or private parks, publicly accessible trails, the “Scenic Promenade,” recreational buildings, greenbelts, fuel modification zones, and other similar park, recreational, or open space uses.
3. Second Dwelling Units, pursuant to the provisions of California state law permitting residential second units or the City’s Residential Second Unit Ordinance, whichever is in effect at the time of submittal of an application for development of a residential second unit.
4. Signage pursuant to the provisions of an approved sign program as required in Section 6.13, “Signage,” and as approved for Montebello Hills by the City.
5. Second story additions to existing single story dwelling units.
6. Construction trailers, parking, offices, and other construction related facilities. These facilities are permitted during the time of construction of any residential area and shall be removed at the time of issuance of the last certificate of occupancy for any residential development phase.
7. Accessory uses and structures to include the following:
 - Small family child care/day care facilities (up to 6 children), in accordance with the Montebello Municipal Code.
 - Home occupations pursuant to the provisions of the Montebello Municipal Code.
 - Swimming pools, spas, sports courts, and other similar outdoor recreational amenities.

- Patios and patio covers.
- Storage, garden structures, cabanas, and greenhouses.

6.6.1.3 Conditionally Permitted Uses

1. Large family child/day care facilities (between 7-14 children), in accordance with the Montebello Municipal Code.

6.6.1.4 Temporary Uses and Structures

1. Temporary uses in accordance with Chapter 12.16 of the Montebello Municipal Code.
2. Model home complexes, temporary real estate signs, signage indicating future development and directional signage approved as part of a model home complex permit in accordance with Section 7.8.4, “Model Home Complex Permit.”

6.6.1.5 Recreational Vehicle Storage and Parking

1. Recreational Vehicle (RV) parking is prohibited in private lanes and within private yards. RV parking on public and private streets is limited to 48 hours.

6.6.1.6 Single Family Detached Residential Development Standards

The regulations governing development of single family detached residential dwelling units within the Montebello Hills Specific Plan are provided in Table 6-1, “Single Family Detached Residential Development Standards.”

Representative examples and typical plotting of each housing type are provided on Exhibits 6-1 through 6-7 following Table 6-1. The exhibits provided are for illustrative purposes only.

PRODUCT TYPE	Front Loaded - Minimum 60' Wide Estate Lots	Front Loaded - Minimum 45' Wide Lots	Cottage SFD ⁽²⁾	Cluster SFD ⁽²⁾	2 Pack & 3 Pack SFD	Courtyard SFD ⁽²⁾
Lot Criteria						
Min. lot width at front setback line for standard lot ⁽¹⁾	60'	45'	32'	30'	40'	30'
Min. lot width on knuckle or cul de sac	50'	35'	30'	25'	25'	25'
Min. lot depth	100'	70'	60'	50'	70'	40'
Minimum lot depth at knuckle or cul de sac	95'	65'	55'	45'	65'	35'
Minimum Setbacks ⁽³⁾						
All front and corner side setbacks are measured from the back of sidewalk. All other setbacks measured from PL unless noted otherwise.						
Streetside Setbacks	10'	10'	10'	10'	10'	10'
Front Setbacks						
Living area and accessory structures	20'	10'	10'	10'	10'	10'
Single story porch	7'	7'	7'	7'	7'	7'
Front facing, street facing, garage	20'	18'	N/A	18'	18'	18'
Turn-in garage	10'	10'	N/A	10'	10'	N/A
Side						
From interior PL Main structure	5'	5'	4' ⁽⁴⁾	4' ⁽⁴⁾	4' ⁽⁴⁾	4' ⁽⁴⁾
Accessory structures	3'	3'	3'	3'	3'	3'
Rear						
Main structure 1st Floor	15'	15'	3' ⁽⁵⁾	N/A	15'	3' ⁽⁵⁾
Accessory structures	3'	3'	3'	3'	3'	3'
Garage (single story plate line)	5'	5'	3' ⁽⁵⁾	N/A	3'	3' ⁽⁵⁾
Patio Cover / 2nd Story Deck	5'	5'	3' ⁽⁵⁾	N/A	3'	3' ⁽⁵⁾

Table 6-1
Single Family Detached Residential Development Standards



PRODUCT TYPE	Front Loaded - Minimum 60' Wide Estate Lots	Front Loaded - Minimum 45' Wide Lots	Cottage SFD ⁽²⁾	Cluster SFD ⁽²⁾	2 Pack & 3 Pack SFD	Courtyard SFD ⁽²⁾
Lot Coverage						
Max. coverage, main structure	50% single story/45% two story	50% single story/45% two story	50%	55%	55%	55%
Minimum Building Separation						
Between main structures rear to rear	N/A	N/A	30'	15'	N/A	10' ⁽¹⁰⁾
Between main structures front to front	N/A	N/A	24'	24'	N/A	10'
Between structures side to side	10'	10'	8'	8'	8' ⁽⁴⁾	8'
Between main structures front to side	N/A	N/A	8'	8'	N/A	N/A
Maximum Building Height ⁽⁶⁾						
Main structure	35'	35'	35'	35'	35'	35'
Accessory structures	6' at setback line with an additional 1' of height allowed for every additional 2' of setback area provided to a maximum of 10'	6' at setback line with an additional 1' of height allowed for every additional 2' of setback area provided to a maximum of 10'	6' at setback line with an additional 1' of height allowed for every additional 2' of setback area provided to a maximum of 10'	6' at setback line with an additional 1' of height allowed for every additional 2' of setback area provided to a maximum of 10'	6' at setback line with an additional 1' of height allowed for every additional 2' of setback area provided to a maximum of 10'	6' at setback line with an additional 1' of height allowed for every additional 2' of setback area provided to a maximum of 10'
Walls, Fences, and Hedges						
Maximum height at front and street side property line ⁽⁷⁾	3'	3'	3'	3'	3'	3'
Maximum height at interior or rear property line ⁽⁸⁾	6'	6'	6'	6'	6'	6'
Parking						
Min. number of parking spaces required per unit ⁽⁹⁾	2	2	2	2	2	2

1. Refer to Section 10, "Definitions," of the Specific Plan for definition of Lot Width.
2. Minimum lot dimensions, yard setback criteria, and lot coverage criteria applicable only to single family detached residential developed on individual fee simple lots and not applicable to condominium style single family detached residential development. All other development regulations apply to condominium style single family detached residential development.
3. Architectural projections may project a maximum of 3 feet into required front, rear or side setback areas; however, in no case shall such projection be closer than 2 feet to any property line. Refer to Section 10, "Definitions," of the Specific Plan for definition of architectural projections.
4. With shared-use easement sideyards.
5. From lane right of way.
6. Height of architectural projections may exceed maximum height by 3 feet. Non habitable tower elements limited to 10% of the building footprint may exceed the maximum allowable building height by 10 feet.
7. Solid masonry walls or wood fencing materials are not permitted within 2 feet of the front property line to provide for landscape softening. Fences, walls, hedges or similar view obstructing structures or plants shall not exceed three feet in height in any required front yard.
8. Walls may exceed six feet in height for noise attenuation purposes subject to an approved Acoustical Study.
9. All parking spaces to be enclosed with a minimum 19.5' X 19.5' clear inside dimension for two spaces and 10' x 19.5' for single spaces. Tandem parking is permitted for all single family detached residential types.
10. Building separation between garages may be reduced to a 6 foot minimum area.

Table 6-1 (cont.)

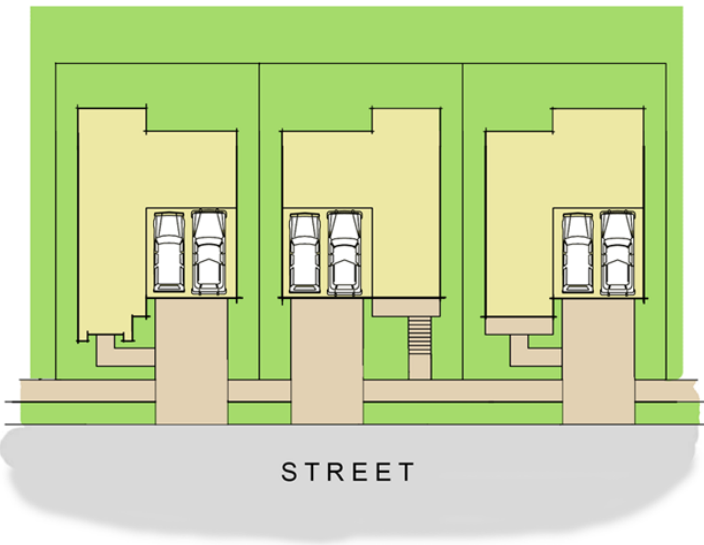
Single Family Detached Residential Development Standards



CONCEPTUAL PLOTTING



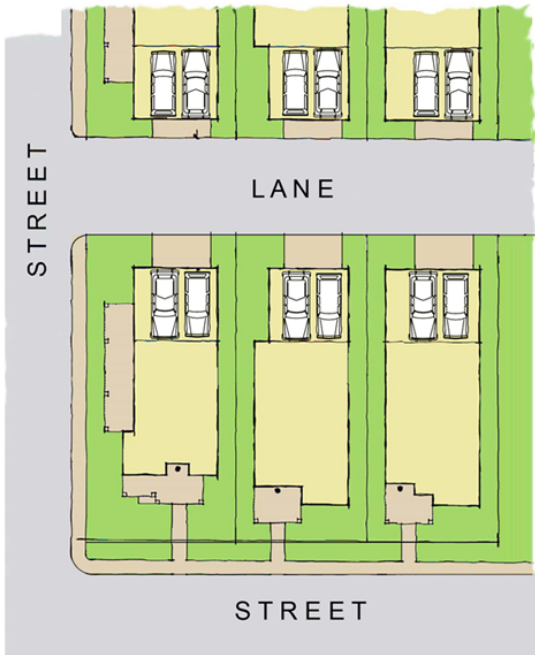
Exhibit 6-1
Front Loaded 60' Wide Estate Lots



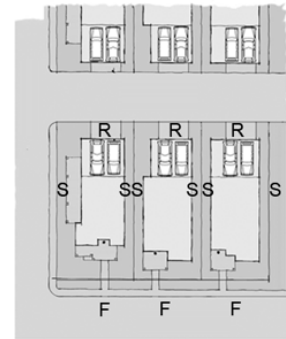
CONCEPTUAL PLOTTING



Exhibit 6-2
Conventional Front Loaded 45' Wide Lots



CONCEPTUAL PLOTTING



LOT ORIENTATION DIAGRAM



Exhibit 6-3
Cottage SFD

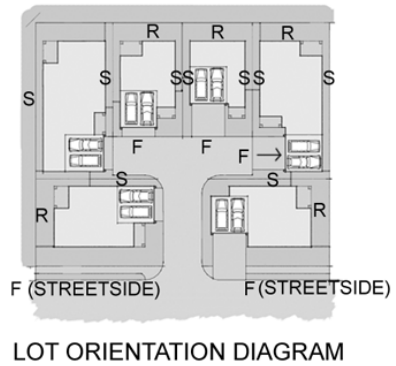
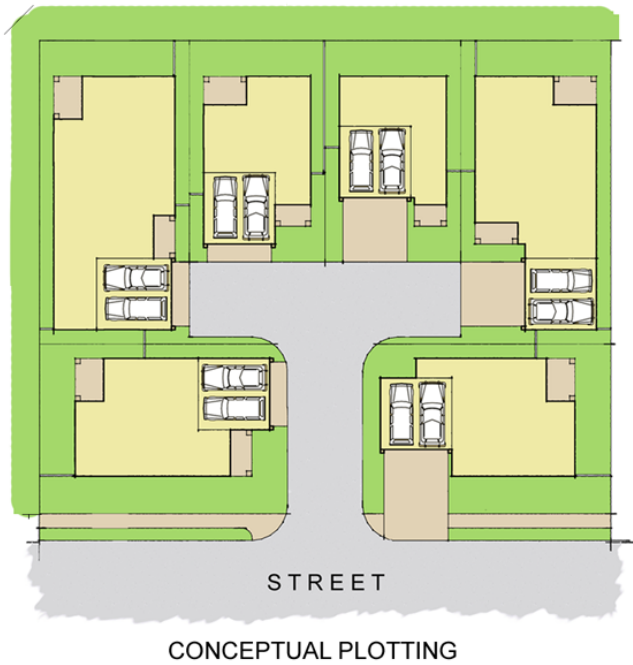
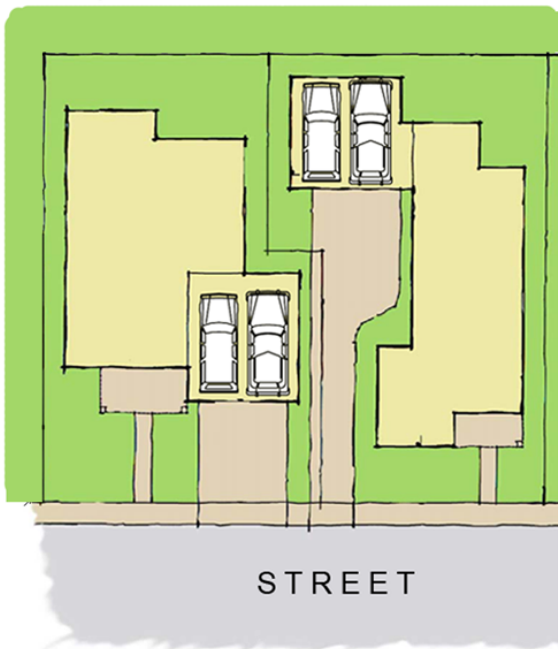
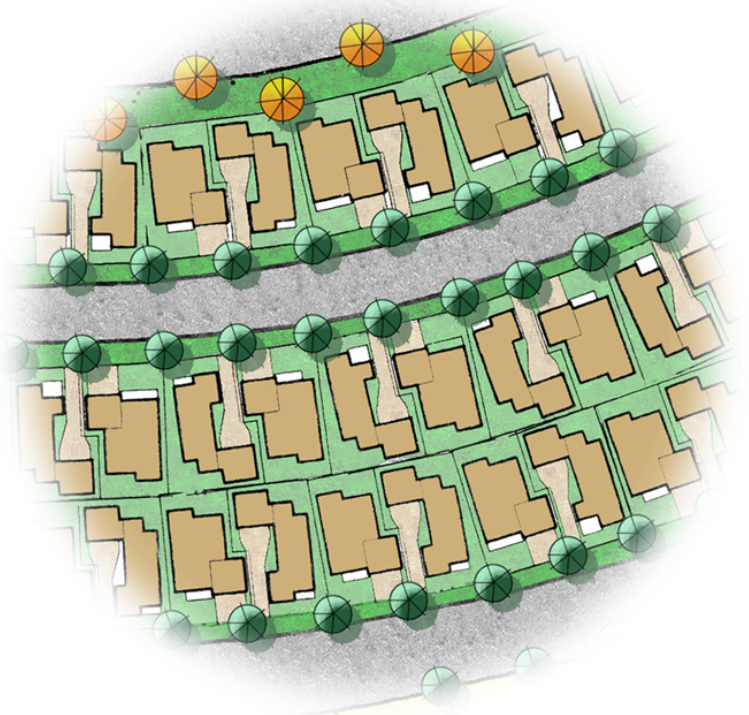


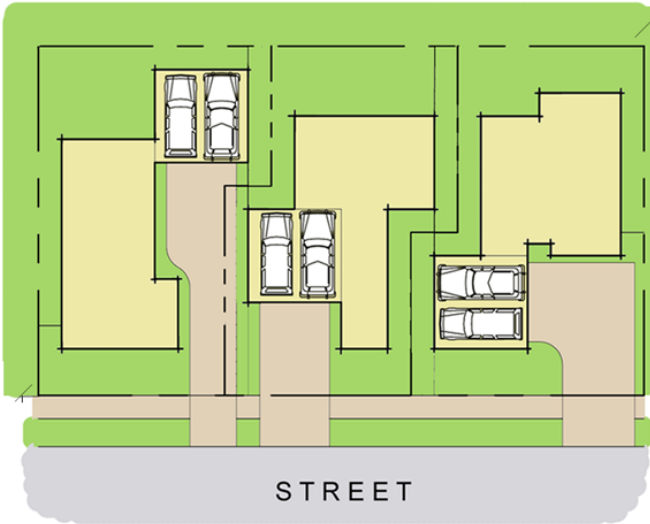
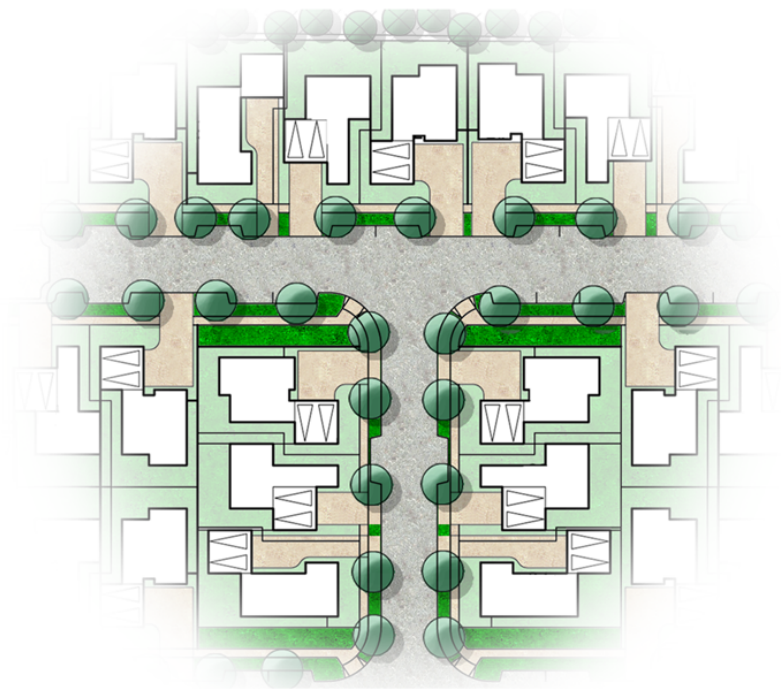
Exhibit 6-4
Cluster SFD



CONCEPTUAL PLOTTING



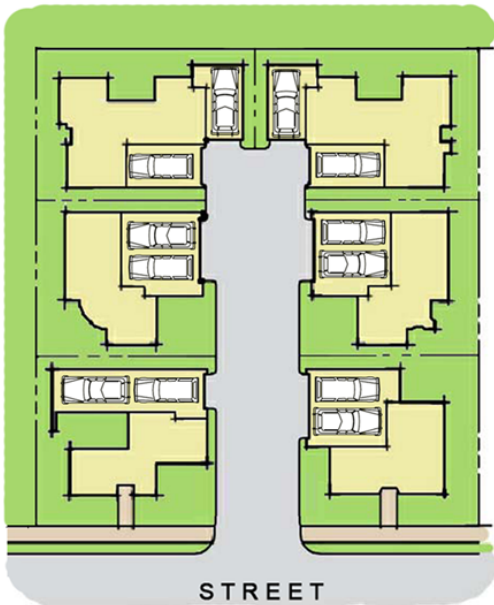
Exhibit 6-5
2 Pack SFD



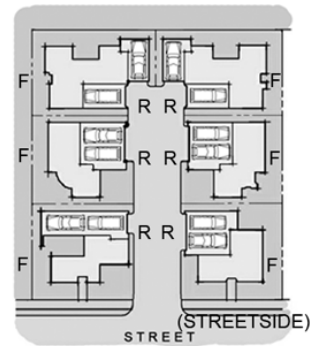
CONCEPTUAL PLOTTING



Exhibit 6-6
3 Pack SFD



CONCEPTUAL PLOTTING



LOT ORIENTATION DIAGRAM



Exhibit 6-7
Courtyard SFD

6.6.2 Residential Attached

6.6.2.1 General

This category includes the development of attached dwelling units. The purpose of the residential standards for attached housing is to establish the minimum criteria for the development of this housing type within the Specific Plan area. These development regulations provide criteria allowing for a wide variety of attached residential home types including, but not limited to:

- Paired Homes
- Triplexes
- Townhomes/Motorcourt Townhomes
- Stacked Flats/Greencourt Homes

6.6.2.2 Permitted Uses and Structures

1. Residential attached dwellings developed on either a fee simple lot or condominium style basis as defined in Section 10, "Definitions," of the Specific Plan and associated parking garages and carports.
2. Public or private parks, recreational buildings, greenbelts, pocket parks, and/or open space.
3. Accessory uses to include the following:
 - Home occupations in accordance with the Montebello Municipal Code.
 - Swimming pools, spas, tennis courts, sports courts, and other similar outdoor recreational amenities.
 - Patios and patio covers.
 - Mailboxes.
 - Recreation center buildings.
 - Maintenance storage buildings.
 - Small family child care facilities/day care facilities, up to 6 children in accordance with the Montebello Municipal Code.

4. Signage subject to the provisions of Section 6.13, "Signage," of the Specific Plan.
5. Permanent sales offices and permanent leasing Offices.
6. Construction trailers, parking, offices, and other construction related facilities. These facilities are permitted during the time of construction of any residential area and shall be removed at the time of issuance of the last certificate of occupancy for any residential development phase.

6.6.2.3 Conditionally Permitted Uses

1. Large family child care facilities/day care facilities (7-14 children) in accordance with the Montebello Municipal Code.

6.6.2.4 Temporary Uses and Structures

1. Temporary uses in accordance with Chapter 12.16 of the Montebello Municipal Code.
2. Model home complexes, temporary real estate signs, signage indicating future development and directional signage approved as part of a model home complex permit in accordance with Section 7.8.4, "Model Home Complex Permit."

6.6.2.5 Recreational Vehicle Storage and Parking

1. Recreational Vehicle (RV) parking is prohibited within residential yards and in private lanes. RV parking on public and private streets is limited to 48 hours.

6.6.2.6 Residential Attached Private Open Space Standards

1. A minimum area of one hundred (100) square feet of private open space shall be provided per dwelling unit as follows:
 - Private open space features may include fenced yards, setback areas, entry porches, patio areas, and balconies.
 - Open space located on roof decks or balconies shall have a minimum contiguous area of fifty (50) square feet in area and a minimum dimension of five (5) feet in any one direction.
 - Private, ground level open space on the street side of a structure is to be suitably screened from streets by a fence, densely planted shrub, or combination of both.

6.6.2.7 Residential Attached Development Standards

The regulations governing development of attached residential dwelling units within the Montebello Hills Specific Plan are provided in Table 6-2, “Residential Attached Development Standards.”



SECTION 6. DEVELOPMENT REGULATIONS

Representative examples and typical plotting of each housing type are provided on Exhibits 6-8 through 6-13 following Table 6-2. The exhibits provided are for illustrative purposes only.

PRODUCT TYPE	Paired Homes/ Triplexes	Row Townhomes/ Motorcourt Townhomes	Stacked Flats/ Greencourt Homes
Minimum Development Site Area	10,000 SF	10,000 SF	10,000 SF
Minimum Setbacks ⁽¹⁾			
All front and corner setbacks are measured from the back of sidewalk. All other setbacks are measured from property line unless otherwise noted.			
Front			
Living Area	10'	10'	10'
Front Loaded Garage	18'	18'	18'
Porch	4'	4'	4'
Side			
From Street	10'	10'	10'
Rear			
Main structure	15' ⁽²⁾	15' ⁽²⁾	15' ⁽²⁾
Minimum Building Separation			
Front to front	25'	25'	25' for a 35' high bldg. / 30' for a 35' to 45' high bldg.
Side / Side	8'	10'	12'
Front / Side	N/A	N/A	20'
Rear / Rear	10' or 30' where lane loaded	30'	25' ⁽⁸⁾
Lot Coverage			
Max. Coverage	50% of site	50% of site	55%

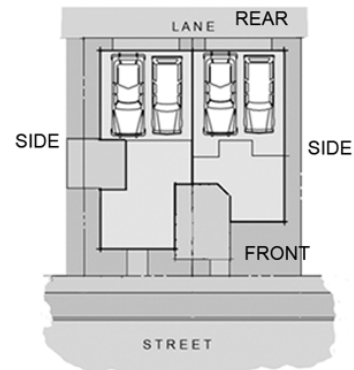
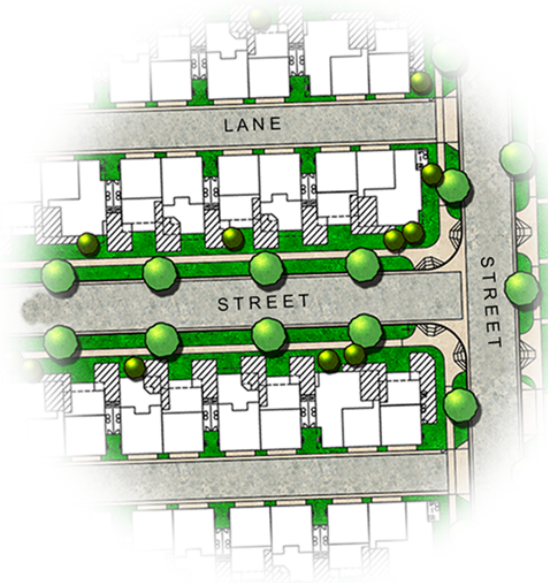
Table 6-2
Residential Attached Development Standards

PRODUCT TYPE	Paired Homes/ Triplexes	Row Townhomes/ Motorcourt Townhomes	Stacked Flats/ Greencourt Homes
Maximum Building Height ⁽³⁾			
Main Structure	35'	35'	45'
Walls, Fences, and Hedges			
Maximum Height at Front and Street Side Property Line ⁽⁴⁾	3'	3'	3'
Maximum Height at Interior or Rear Property Line ⁽⁵⁾	6'	6'	6'
Parking ⁽⁶⁾			
Min. Resident Parking Required. Tandem parking is permitted to meet resident parking requirements.	2 garage spaces	2 garage spaces	1 covered space/one bedroom unit; 2 covered spaces / two or more bedroom units
Min. Guest Parking Required	1 space/ each 3 dwelling units ⁽⁷⁾	1 space/ each 3 dwelling units ⁽⁷⁾	1 space/ each 3 dwelling units ⁽⁷⁾

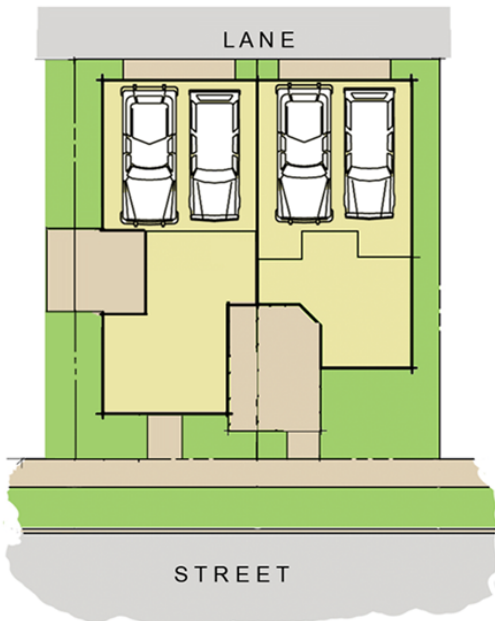
1. Architectural projections may project a maximum of 3 feet into required front, rear or side setback areas; however, in no case shall such projection be closer than 3 feet to any property line.
2. The rear setback may be reduced to 3 feet for rear loaded conditions.
3. Height of architectural elements may exceed the maximum height limit by 3 feet. Non habitable tower elements limited to 10% of the building footprint may exceed the maximum allowable building height by 10 feet.
4. Solid masonry walls or wood fencing materials may be permitted on the front property line. Fences, walls, hedges or similar view obstructing structures or plants that reduce safe ingress or egress of vehicles or pedestrians shall not exceed three feet in height in any front yard.
5. Walls may exceed six feet in height for noise attenuation purposes subject to an Acoustical Study and Planning Department approval.
6. All parking spaces within an enclosed garage shall have a minimum 19.5' x 19.5' clear inside dimension for double spaces and 10' x 19.5' for single spaces.
7. Guest parking may be provided within local streets.
8. If lane loaded garages rear to rear separation is 30 feet.

Table 6-2 (cont.)

Residential Attached Development Standards



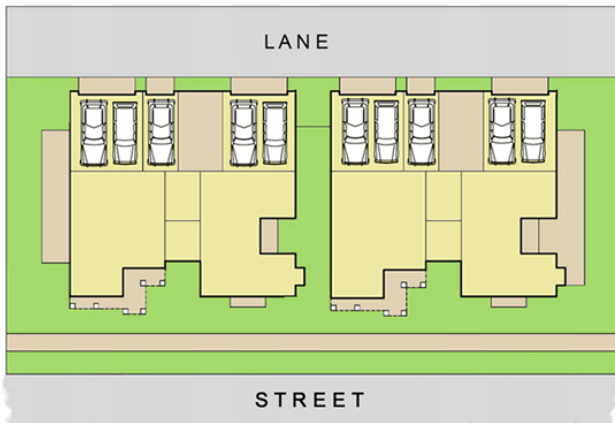
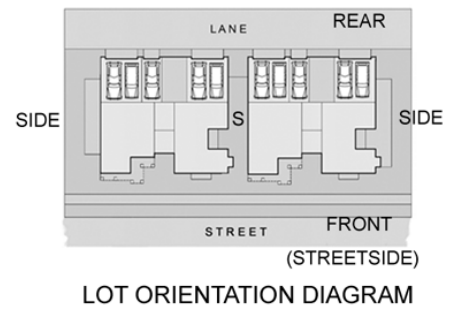
LOT ORIENTATION DIAGRAM



CONCEPTUAL PLOTTING



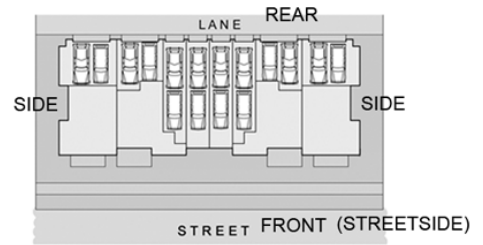
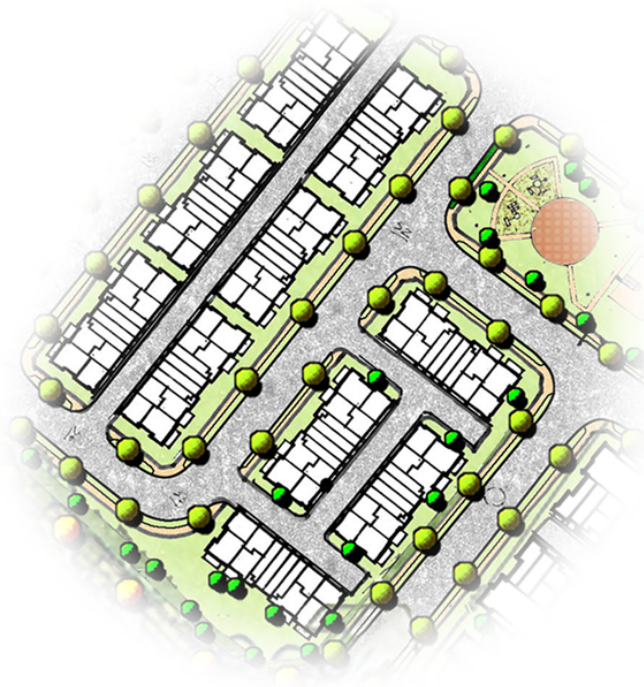
Exhibit 6-8
Paired Homes



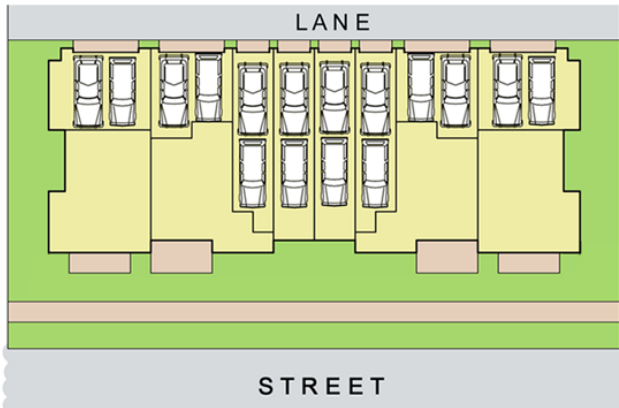
CONCEPTUAL PLOTTING



Exhibit 6-9
Triplex



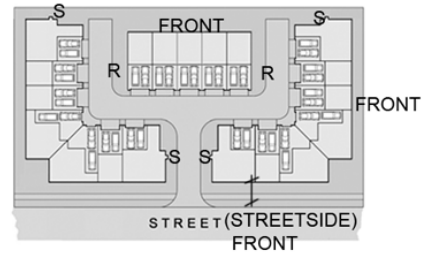
LOT ORIENTATION DIAGRAM



CONCEPTUAL PLOTTING



Exhibit 6-10
Townhomes (Row Townhomes)



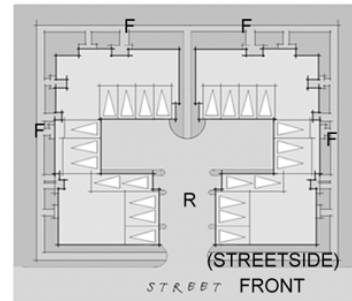
LOT ORIENTATION DIAGRAM



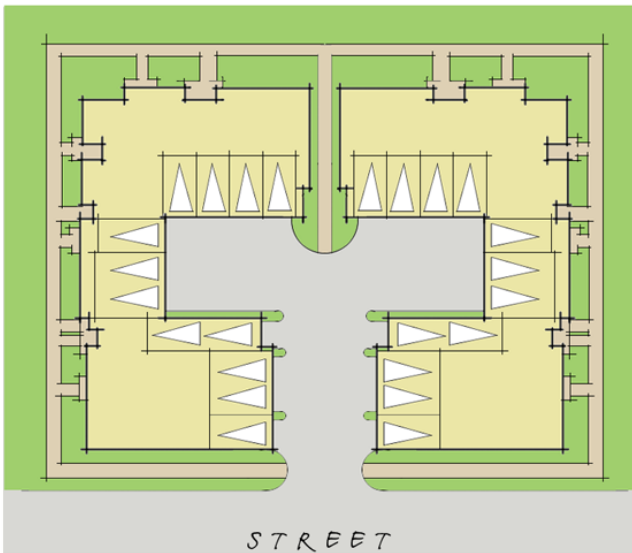
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Exhibit 6-11
Townhomes (Motorcourt Townhomes)



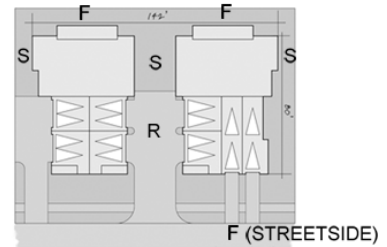
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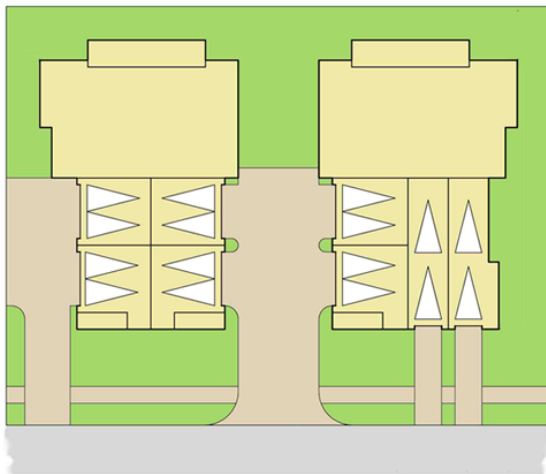
CONCEPTUAL PLOTTING



Exhibit 6-12
Stacked Flats



LOT ORIENTATION DIAGRAM



CONCEPTUAL PLOTTING



Exhibit 6-13
Greencourt Homes

6.7 Open Space Standards

The Montebello Hills Specific Plan contains undisturbed, or natural, open space and disturbed, or restored, revegetated, and graded, open space. The Reserve, both undisturbed and disturbed, shall be placed within a conservation easement, or other preservation mechanism, for permanent preservation of the Reserve. Conservation easements or other preservation mechanisms shall permit continued oil and gas operations.

Except for necessary urban infrastructure, public utilities, and public service facilities, such as, but not limited to, roads, trails, reservoirs, utility lines, grading for purposes of adjacent development and stabilizing slopes, flood control and water quality/urban runoff facilities, telecommunications towers, and gas lines, all new development in open space areas will be open space, public use, oil production/storage, oil servicing facilities, or Reserve uses.

6.7.1 Permitted Uses and Structures

1. Existing continued oil and gas production facilities and servicing as described in Section 6.8, "Oil Production Standards," of the Specific Plan.
2. Public utilities and infrastructure service facilities or extensions necessary for the development, maintenance, or operation of the adjacent urban areas, including but not limited to the following:
 - Flood control works.
 - Utility transmission or distribution lines.
 - Utility access roads.
 - Public telecommunications towers.
 - Erosion control basins and water quality facilities and devices.
 - Graded slopes for fire protection revegetation and stabilization.
3. Resource mitigation sites for the preservation or replacement of native, riparian or other biological habitat, as approved by the USFWS or other resource agencies.
4. Pedestrian and bicycle trails.
5. Nature study areas and nature trails.
6. The existing Montebello Town Center parking lot pursuant to the provisions of Section 6.11, "Continued Parking Lot Operation," of the Specific Plan.

6.8 Permitted Oil and Gas Production Facilities

The purpose of these provisions is to describe the manner in which oil and gas production facilities are permitted and maintained within the Montebello Hills Specific Plan area. The Specific Plan allows for the continued operation and servicing of existing oil and gas production facilities permitted and inspected by the Cal DOGGR and subject to Chapter 17.44 (O) "Oil and Gas Production District" of the Montebello Municipal Code, Chapter 5.52, "Oil and Gas Drilling," of the Montebello Municipal Code, and all other applicable provisions of the Municipal Code.

6.8.1 Permitted Uses and Structures

1. All oil and gas facilities operations and servicing, all existing uses, together with all accessory structures and uses which are customarily incidental or necessary to main buildings or uses, are permitted within the Montebello Hills Specific Plan pursuant to the appropriate regulations of Chapter 17.44 (O) "Oil and Gas Production District," of the Montebello Municipal Code and Cal DOGGR regulations.

2. Subsurface oil operations and uses shall be considered permitted in all residential Planning Areas. No new wells shall be drilled or existing surface wells re-drilled within any Planning Area.
3. In accordance with the regulations of the Montebello Hills Specific Plan permitting oil and gas production, "Oil Operations and Servicing" may include, without limitation, the right to conduct exploration and exploitation surveys, drill for, explore, re-drill, work over, re-work, and/or complete wells for oil, gas, and other hydrocarbon substances, water, and minerals of every type and nature, together with the right to conduct primary, secondary, and/or tertiary recovery operations or to use other techniques, whether known or unknown, and to produce, take, treat, store, and sell water and oil, gas, and other hydrocarbon substances for the property, together with the right to permanently place, locate, relocate, construct, reconstruct, maintain, operate, use, repair, replace, remove, move, change the size of, increase the number of, and remove wells, pipelines, power lines, buildings, facilities, equipment, and fixtures necessary or desirable for the continued operation of the oil and gas field on, over, under, in and through the property, together with the right of ingress and egress to, from, and across the property to all existing and future oil wells and production facilities.

6.8.2 Site Development Standards

1. All oil and gas production and storage facilities shall be maintained and established in accordance with Chapter 17.44 (0) "Oil and Gas Production District" of the Montebello Municipal Code per the (0) district, which is part of the zoning designation for the Montebello Hills Specific Plan, and

pursuant to the provisions of Chapter 5.52, "Oil and Gas Drilling," of the Montebello Municipal Code.

2. Producing oil wells to be retained in residential Planning Areas shall be accommodated within subsurface concrete cellars. The placing of oil wells in subsurface cellars shall be implemented in accordance with Cal DOGGR regulations. No habitable structure may be constructed within 100 feet of the retained subsurface well's wellhead.
3. New oil production facilities shall be inspected by Cal DOGGR and other state and local agencies.

6.9 Recreation Facilities

The purpose of these regulations is to provide standards for development of those public and private recreational uses approved within the Montebello Hills Specific Plan.

6.9.1 Public Recreation Facilities

Public recreation facilities within Montebello Hills consist of a public park site and a network of privately owned and maintained, publicly accessible multi-use trails. Development of all public recreation facilities within the Specific Plan area are subject to approval by the City.

6.9.1.1 Permitted Uses and Structures

1. Public park facilities including but not limited to:
 - Community centers.
 - Recreation centers and facilities.
 - Active recreation improvements including but not limited to sports fields, swimming pools, tennis courts, and other similar active recreational improvements.
 - Picnic areas.
 - Tot lots.

- Parking.
 - Dog Parks.
 - Barbeque areas.
 - Other similar recreational improvements.
2. Hiking and bicycle trails.
 3. Other similar uses which are found to be compatible with the district by the City Planner.

6.9.1.2 Site Development Standards

The following development standards shall apply:

- Building site area – No minimum.
- Building height limit – Thirty five (35) feet, except that architectural projections such as clock towers or other similar features may have a maximum height of forty five (45) feet.
- Building setbacks – Community facility buildings shall be setback from residential collector streets a minimum of twenty five (25) feet. Community facility buildings shall be setback a minimum of twenty (20) feet from any residential property line.
- Off-street parking – Off-street parking shall be provided in accordance with the approved Site Plan. Parking is prohibited along Paramount Boulevard adjacent to the park site.
- Signs – Signs shall be permitted in accordance with Section 6.13, “Signs,” of the Specific Plan.
- Trash and storage areas – All storage, including cartons, containers, and trash shall be shielded from view within a building or area enclosed by a solid screening material not less than six (6) feet in height. No such area shall be located within fifty (50) feet of any residence unless the trash or storage area is fully enclosed.

6.9.2 Private Recreation Facilities

The purpose of these regulations is to provide standards for development of those private recreational facilities approved within the residential Planning Areas of the Specific Plan area.

6.9.2.1 Permitted Uses and Structures

- Community recreation buildings.
- Barbeque and picnic areas.
- Restroom buildings.
- Tot Lots.
- Trails.
- Swimming pools and spas.

6.9.2.2 Site Development Standards

1. Building height limit – Thirty five (35) feet except that architectural projections may have a maximum height of forty five (45) feet.
2. Building setbacks – All buildings shall be setback from residential property lines a minimum distance of twenty (20) feet.
3. Parking – Parking shall be provided at the following ratios:
 - (a) Private park - less than one acre:
 - Three parking spaces (minimum) plus parking for any facilities per the requirements of (c) below.
 - (b) Private park, equal to or greater than one acre:
 - Five spaces, (minimum) plus parking for any facilities per the requirements of (c) below.
 - (c) Facilities parking:
 - Community center, private: one parking space per one hundred (100) square feet of gross floor area.

- Pool, private: one parking space per each three hundred (300) square feet of water surface area.

Required parking shall be permitted on-street and off-street.

4. Lighting – All lighting shall be low level pole mounted, bollard type or building mounted. Field lights are prohibited.
5. Trash receptacles- Trash receptacles and pet waste bags shall be provided in all private recreational areas.
6. Barbeque facilities – Barbeque facilities shall be setback a minimum of forty (40) feet from any residential property line.

6.10 Model Home Complex Development Standards

The purpose of this section is to provide standards for the development of model home complexes within the Specific Plan area. Model home complexes containing temporary real estate offices used solely for the first sale of homes within the boundaries of an approved tract are permitted within any Residential Planning Area. Model home complexes are permitted in accordance with these regulations and the permitting requirements contained in 7.8.4 “Model Home Complex Permit,” of the Specific Plan.

6.10.1 Permitted Uses and Structures

The following structures and facilities may be constructed as a part of a temporary model home complex:

1. Model homes in compliance with the Specific Plan development regulations applicable to the properties that are being sold.
2. Garages, attached and detached, in compliance with the Specific Plan development regulations applicable to the properties that

are being sold. Garages attached to units being used as model homes may be used as temporary sales offices.

3. Temporary manufactured structures or commercial coaches for sales or leasing purposes.
4. Accessory buildings and structures in compliance with the Specific Plan development regulations applicable to properties being sold.
5. Recreational facilities that will be a permanent portion of the subdivision in compliance with the Specific Plan development regulations applicable to the properties that are being sold.
6. Permanent streets and driveways that will be part of the subdivision after the abandonment of the real estate office use.
7. Temporary children’s playgrounds.
8. Temporary and permanent fencing, walks and structural amenities.
9. Temporary vehicle parking and maneuvering areas to provide off street parking as necessary for employees and guests.

6.11 Continued Parking Lot Operation

The existing parking lot located at the southeast corner of Montebello Boulevard and Plaza Drive is permitted by the Specific Plan to continue in its current configuration, size, and operational characteristics. Regular maintenance operations for the parking lot are permitted by the Specific Plan. If, at any time, the use is abandoned by the owner or abated by the City, the site shall be restored to natural open space by the underlying property owner.

6.12 Landscape Standards

6.12.1 General Provisions

1. All landscape and irrigation plans for streetscapes and graphic designs with regard to the community identity of Montebello Hills, neighborhood identity, or entry monuments shall conform to the landscape design guidelines contained in Section 8, "Design Guidelines," of the Specific Plan and regulations, as set forth herein, and shall be subject to review and approval by the City Planner. The form and content of landscape plans for streets, parks, and other common areas shall conform to the application requirements identified as appropriate by the City Planner.
2. The design and improvement of all public parks, including landscape and irrigation plans, within Montebello Hills shall be reviewed and approved by the City Planner and shall conform with the requirements of the City's Parks and Recreation Department.
3. Within residential attached areas the builder shall be responsible for the installation of full landscape improvements within the development. Areas not used for hardscape shall be fully landscaped. All landscape plans shall be reviewed and approved by the City Planner.

6.12.2 Landscape Standards

1. Landscaping within the Montebello Hills Specific Plan area shall be provided in accordance with the landscape guidelines contained in Section 8, "Design Guidelines," of the Specific Plan utilizing plant materials specified on the Plant Palette included in Section 8, "Design Guidelines" established for the Montebello Hills Specific Plan.

2. Landscaping and automatic irrigation systems within the public rights of way of the Montebello Hills Specific Plan area shall be installed by the developer.
3. Freestanding perimeter walls and view fencing shall be provided within and at the perimeter of the Specific Plan area as specified in the "Master Wall and Fencing Plan" contained within Section 8, "Design Guidelines." Such walls and fences will be constructed concurrently with the construction of improvements required for development of the residential Planning Area.
4. Community theme walls and fences shall be constructed in locations and of a design consistent with the "Master Wall and Fencing Plan" and "Wall and Fence Details" Exhibits located within Section 8, "Design Guidelines." Community theme walls and fences shall not exceed six feet in height from finished grade. If required for sound attenuation, walls may exceed six feet in height, subject to the recommendations of an acoustical study. Community theme walls shall be constructed of either masonry or other permanent, durable, low maintenance material. Thematic fencing shall be constructed with durable materials subject to approval by the City. In no instance shall wooden fencing be permitted along perimeters.
5. View fencing shall be constructed in locations and of a design consistent with the "Master Wall and Fencing Plan" and "Wall and Fence Details" exhibits contained within Section 8, "Design Guidelines." View fencing shall not exceed six feet in height from finished grade. View fencing shall be constructed of either tubular material, tempered glass, or other durable material approved by the City Planner.

6. Individual residential lot side and rear yard walls and fencing shall not exceed six feet in height from highest adjacent finished grade unless increased height is necessary for sound attenuation purposes. Side and rear walls may exceed six feet in height if required by the City Planner for sound attenuation pursuant to the recommendations of an acoustical study approved by the City Planner. Walls and fencing within the residential front yard setback area shall not exceed three feet in height. Side and rear yard walls shall be of decorative masonry construction on both sides of the wall or other permanent low maintenance materials. Front yard fences may be constructed of wood or any other durable materials with a wood like appearance, subject to approval by the City Planner.
7. All perimeter wall and fence materials throughout Montebello Hills will be of uniform manufacture with colors specified for the overall design theme.
8. Non-toxic vegetation shall be utilized adjacent to all public open space areas.

6.13 Signage

Prior to issuance of the first certificate of occupancy, including the first model home complex of each development phase, a Master Sign Program for that phase shall be submitted by the developer and approved by the Planning Commission to address residential project entries, residential neighborhood identification signs, public facility identification signs, way finding signs, and any other signs identified as necessary by the developer for the successful signage of the development phase. No project signs shall be permitted in the public right-of-way. All other signs shall be subject to the approval of a sign permit pursuant to the provisions of Chapter 17.62, "Signs," of the Montebello Municipal Code.

6.13.1 Master Sign Program Contents

All sign programs shall address, at a minimum, the following:

1. Permitted signs.
2. Prohibited signs.
3. The hierarchy of signage.
4. Definition of types of signs.
5. Locations and dimensions for monument signs, and public facilities signs.
6. Provisions for size, location, and duration of display of temporary signs.
7. Permitted sign types, styles, construction materials, colors, and lettering styles.
8. Requirements for a sign permit application submittal, review, and approval.
9. Procedures for amending the sign program.

6.14 Lighting

The following standards shall apply to all exterior lighting within the Specific Plan area.

1. Lighting within residential Planning Areas along streets, public and private parks, public and private outdoor spaces, and on the exterior of homes within the Specific Plan area shall be “Night Sky Friendly” fixtures wherever possible. Design of fixtures shall be approved by the City Planner.
2. Lighting along the multi-use trail within the Reserve shall be prohibited in accordance with USFWS regulations.
3. Lane lighting fixtures shall be on sensors for automatic nighttime lighting. Style and specifications for lane lighting shall be approved by the City Planner.
4. All parks, paseos, and pedestrian walkways shall be enhanced with uniform lighting appropriate to the scale of each area. The proposed public park shall not include sports field lighting for night use.
5. All outdoor lighting, including spotlights, floodlights, electrical reflectors and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas shall be focused, directed, and arranged to minimize glare and illumination onto adjoining property. Low intensity, energy conserving night lighting is preferred.
6. Low intensity path lighting shall be used along the trails and walks adjacent to the Reserve and shall minimize excess glow into the Reserve. Lighting within the Reserve is prohibited.
7. Lights shall be metallic, unbreakable plastic, recessed or otherwise designed to reduce the problems associated with damage and replacement of fixtures. Fixtures shall be vandal resistant. Entry monuments shall be lit by concealed, ground mounted up-lights directed away from traffic.
8. Flashing, blinking, neon, and similar types of lighting are prohibited in all areas of Montebello Hills.
9. All exterior lighting shall develop a sense of hierarchy by varying fixtures and illumination levels. Community entry areas (both pedestrian and vehicular), public areas, community facilities, and recreation areas shall be lit to develop a sense of place and arrival.
10. All exterior lighting shall address the issue of security. Parking lots, pedestrian walkways, and building entrances shall be adequately lit for security reasons.
11. All exterior lights shall be shielded where feasible and focused to minimize spill light into the night sky or adjacent properties.
12. No freestanding lighting fixtures shall exceed twenty five feet (25) in height.
13. Service area lighting shall be contained within the service yard boundaries and enclosure walls.
14. Lighting of the entry monument features shall be designed to illuminate the sign graphics and to gently wash the walls and pilasters with light. Trees and other landscape features shall be illuminated by concealed, ground mounted, up-light fixtures along major collector roads, key intersections, and neighborhood entries.
15. All electrical meter pedestals and light control equipment shall be located with minimum public visibility and/or screened with plants.
16. The level of on-site lighting and types of light fixtures shall comply with all applicable codes and policies of the City of Montebello.

17. All community landscape common areas, public facilities, streetscapes, parks, and other areas may, at the discretion of the City Planner, project developer, or builders, contain accent or other night lighting entities. Excessive lighting shall be discouraged within residential neighborhoods and parks except where security is an issue.
18. Lighting adjacent to the Reserve shall be low intensity bollard lighting and shielded to minimize artificial light from reflecting into the Reserve.

Section 7. Implementation

7.1 Overview

The adoption of the Montebello Hills Specific Plan by the City of Montebello follows the certification by the City of the Montebello Hills Specific Plan EIR and adoption by the City of certain General Plan Amendments as described in this Specific Plan. The City's adoption of the Specific Plan by ordinance changes the zoning district for the Specific Plan area from Residential Agriculture, Oil and Gas Production (O) District (R-A-O) and Commercial Planned Development (C-2-PD) to Montebello Hills Specific Plan. Following the adoption of the Specific Plan, the Specific Plan area will be developed in phases. The Specific Plan serves as the implementation tool for the City's General Plan, as amended, and establishes the zoning for the Specific Plan area. Following adoption of the Specific Plan, development within the Specific Plan area will proceed pursuant to approval by the City of applications for Site Plan Review, Subdivision Maps, and any other related applications as determined by the City Planner to be necessary at the time of project application submittal.

7.2 Interpretation

Unless otherwise provided herein, any ambiguity concerning the content or application of the Montebello Hills Specific Plan shall be resolved by the City Planner, or the City Planner's designee, in a manner consistent with the goals, policies, purpose, and intent established in this Specific Plan.

7.3 Severability

If any portion of these regulations is declared to be invalid or ineffective in whole or in part, such decision shall not affect the validity of the remaining portions thereof. The legislative body hereby declares that they would have enacted these regulations, and each portion thereof, irrespective of the fact that any one or more portions may be declared invalid or ineffective.

7.4 Specific Plan as Zoning

Approval of the Montebello Hills Specific Plan constitutes approval of zoning for the Specific Plan area. Approval of the Montebello Hills Specific Plan includes the approval of the "Land Use Plan," Exhibit 4-1 and the "Land Use Summary," Table 4-1, contained within this Specific Plan, which constitute the zoning map and land use pattern for the Specific Plan area. The Land Use Plan establishes residential land use Planning Areas and open space land use areas, as well as the number of residential units and intensity of residential land use established for each Planning Area. A maximum number of residential dwelling units permitted for development is established within Table 4-1, "Land Use Summary," of the Specific Plan. The Specific Plan contains a plan for the installation of infrastructure and public improvements to serve the development and includes regulations and design guidelines to govern development of land use within the Specific Plan area.

7.5 Development Agreement

A Development Agreement approved by the City establishes, among other things, a contractual vested right to the developer to proceed with and complete the Montebello Hills development project in accordance with the rules, regulations, and official policies in effect at the time of project approval. Provisions for the phasing of development, and the methods of financing of construction, operation, and maintenance of public facilities, infrastructure improvements, and services for Montebello Hills are included in the Development Agreement. The Development Agreement also establishes the plan for provision of park land either through park land dedication and/or payment of in lieu fees and the maintenance of open space.

7.6 Implementation of Development Regulations

The adoption of the Montebello Hills Specific Plan by the City including the development regulations and requirements described in Section 6, “Development Regulations,” shall take precedence over the Montebello Municipal Code. In instances where the Specific Plan is silent, the Montebello Municipal Code shall prevail.

7.7 Implementation of Design Guidelines

Adoption of the Montebello Hills Specific Plan by the City includes adoption of the design guidelines contained in Section 8, “Design Guidelines,” of the Specific Plan, which shall be the sole design criteria by which development projects within the Specific Plan area are reviewed and approved. The Design Guidelines are intended to be flexible in nature while establishing basic evaluation criteria for the review by the City of development projects during Site Plan Review, Subdivision Review, and review of

any other applicable development applications determined by the City Planner to be necessary as part of the submittal of project applications.

7.8 Development Review and Approval Process

7.8.1 Subdivision Maps

All development projects within the Specific Plan area shall be subject to approval of subdivision maps pursuant to the requirements of Title 16, “Subdivisions,” of the City’s Municipal Code, the State Subdivision Map Act, the Montebello Hills Specific Plan, and applicable provisions of the Montebello Municipal Code. Following approval of tentative subdivision maps for development purposes, final maps approved by the City and recorded with the County become the legal documentation defining development parcels and lots within the Specific Plan area.

7.8.2 Site Plan Review Required for Residential Attached Development

All residential attached development projects are subject to Site Plan Review in accordance with Chapter 17.74, “Site Plan Review,” of the City’s Municipal Code. Approval of Site Plan Review constitutes approval of site plans, conceptual architecture, and landscaping for the project.

7.8.3 Conditional Use Permits

All development projects subject to approval of a Conditional Use Permit (CUP) as specified in Section 6, “Development Regulations,” shall be processed for approval pursuant to the provisions contained within Chapter 17.70, “Conditional Use Permits,” of the Montebello Municipal Code. In accordance with the provisions of Chapter 17.70 “Conditional Use Permits,” an application for a CUP constitutes a discretionary application subject to approval by the City Planning Commission. Approval of a CUP application may also be accompanied by an application for approval of a subdivision map and Site Plan Review. Approval of a CUP constitutes approval of project architecture, site plans, and landscape plans for development.

7.8.4 Model Home Complex Permit

All model home complexes within the Specific Plan area are subject to approval of a model home complex permit as specified in this section.

7.8.4.1 Intent

The intent of the model home complex permit is to implement certain standards as specified in Section 6.10, “Model Home Complex Development Standards,” of this Specific Plan designed to safeguard the welfare of the community when a temporary real estate office is established in a residential Planning Area of the Specific Plan. Actions taken on applications subject to these provisions are considered ministerial and, therefore, are not subject to review pursuant to CEQA or City CEQA procedures.

7.8.4.2 Application

The application for a model home complex permit shall be made on forms and in a format as determined by the City Planner.

7.8.4.3 Approval and Notice

The City Planner shall be the approval body for a model home complex permit. No public hearing or public notice is required.

7.8.4.4 Effective Date, Time, Time Limits, and Extension

An application for a model home complex permit may be approved for a maximum time period of 36 months from the date of approval. At the end of the 36 month period, the permit may be extended one additional 36 month period if the model home complex continues to comply with the requirements of Section 6.10, “Model Home Complex Development Standards,” of the Specific Plan. Prior to issuance of certificates of use and occupancy for residential use and occupancy of the model homes, the temporary improvements shall be removed and the site shall comply with the terms and requirements of the original discretionary approval for the residential development project as a whole.

7.8.5 Residential Projects Exempt from CEQA

Residential development projects, including any subdivisions, site plan reviews, zoning change, or other applicable development applications proposed to implement this Specific Plan, and which are consistent with this Specific Plan, for which an EIR has been certified by the City, are exempt from the requirements of CEQA pursuant to Government Code Section 65457.

7.9 Transfer of Residential Dwelling Units

The Land Use Plan approved as part of the Specific Plan establishes the distribution and density of residential dwelling units for each residential Planning Area, as well as a total number of residential dwelling units permitted for development within the Specific Plan area. Adjustments to the number of residential dwelling units allocated to a Planning Area may occur at the time of final design of any portion of the Planning Area and residential dwelling units may be transferred from one residential Planning Area to another. Changes to the number of residential dwelling units among residential Planning Areas are permitted subject to approval by the City Planner provided the following findings can be made:

1. That the residential units being transferred meet the applicable provisions of the development regulations and standards for the transferred residential housing types as established in Section 6, "Development Regulations," of the Specific Plan.
2. That there are no major impacts on approved infrastructure plans, including major changes to the approved circulation plan or pedestrian trail system, resulting from the transfer of residential units.
3. That land use compatibility and neighborhood integrity will be preserved as a result of the transfer of residential units.
4. That the transfer of residential units does not increase the total number of dwelling units for any residential Planning Area or gross density of the Planning Area by more than twenty percent (20%) above the total number of dwelling units or gross density established in the Specific Plan for the Planning Area.
5. That the maximum number of 1,200 dwelling units established for the Specific Plan area is not exceeded.

7.10 Adjustments to a Planning Area

Adjustments to the boundary of a residential Planning Area are permitted provided the adjustment does not result in an increase of acreage for any residential Planning Area of more than twenty percent (20%), an increase of more than 20% in the number of residential dwelling units or gross density allocated to any residential Planning Area, and the maximum number of 1,200 dwelling units established for the Specific Plan area is not exceeded.

7.11 Residential Use of Park Site

The Specific Plan provides for an approximately 5.5 gross acre site designated as a residential land use within Planning Area 4 to be offered for dedication to the City for development of a public park.

The proposed public park site is designated as a residential land use area on the "Land Use Plan," Exhibit 4-1 of the Specific Plan and may be used for residential land uses subject to the following provisions:

1. That there are no major impacts on approved infrastructure plans, including major changes to the approved circulation plan or pedestrian trail system, resulting from the development of residential uses on the site.
2. That the residential units proposed for development are the same or similar housing types as those surrounding the site, either planned or developed, within the Planning Area.
3. That the development of residential dwellings on the site does not increase the total number of dwelling units established by the Specific Plan for the Planning Area, except as provided for in Section 7.9, "Transfer of Residential Dwelling Units."

4. That the maximum number of 1,200 dwelling units established for the Specific Plan area is not exceeded.

7.12 Substantial Conformance

A project proposal for development within the Specific Plan area shall be considered to be in substantial conformance with the Specific Plan, not requiring a Specific Plan amendment, in the event any of the following occurs. The City Planner shall make the determination as to substantial conformance.

1. A change in utility or public service provider to the Specific Plan area.
2. A change in roadway alignment of any roadway illustrated on the “Master Circulation Plan,” as contained within the Specific Plan, when the change results in a centerline shift of less than 150 feet.
3. Residential dwelling unit transfers or adjustment of a Planning Area boundary, consistent with the provisions of Sections 7.9 and 7.10 of the Specific Plan.
4. Minor deviations to adopted quantifiable development standards, as contained in Section 6, “Development Regulations,” of the Specific Plan, provided the deviation does not result in a change of more than ten percent (10%) to an adopted quantifiable development standard.
5. Minor changes to landscape materials, wall materials, wall alignment, entry design, and streetscape design which are consistent with the conceptual design set forth in Section 8, Design Guidelines,” of the Specific Plan.
6. Minor changes to the design guidelines contained in Section 8,” Design Guidelines,” of the Specific Plan, which are intended to be flexible in their implementation.

7. A proposal for development of a single family detached or residential attached housing type not specifically listed in the Specific Plan, but which is deemed by the City Planner to be similar to a listed housing type, and which can be developed in accordance with the development regulations of the most similar listed housing type as established in Section 6, “Development Regulations,” of the Specific Plan.
8. The development of residential uses on the public park site in accordance with the provisions for residential development of this area as contained in Section 7.11 of the Specific Plan.
9. Other modifications of a similar nature to those listed above which are deemed minor by the City Planner, that are in keeping with the purpose and intent of the approved Specific Plan, and which are in conformance with the General Plan, as amended.

7.13 Specific Plan Amendments

Amendments to the Montebello Hills Specific Plan may be requested by the applicant or initiated by the City at any time. Specific Plan Amendments shall be processed pursuant to the provisions of Government Code Section 65453 (a). In the event the proposed amendment requires supplemental environmental analysis pursuant to CEQA, the entity submitting the application for a Specific Plan Amendment is responsible for the costs associated with preparing the necessary CEQA documentation.

7.14 Appeals

Appeals from any determination of the City Planner or the Planning Commission may be made by any aggrieved party pursuant to the provisions of Chapter 17.78, “Public Notices, Hearings, and Appeals,” of the City’s Municipal Code.

7.15 Compliance with Mitigation Monitoring Plan

The City has certified an EIR for the Montebello Hills Specific Plan. Development within the Specific Plan area shall comply with all applicable mitigation measures or incorporate design features as described in the Mitigation Monitoring Program included as part of the EIR.

7.16 Project Financing

The financing of construction, operation, and maintenance of public improvements and facilities (the “facilities”), and public services for Montebello Hills may include funding through a combination of financing mechanisms. Final determination as to the facilities to be financed and as to maintenance responsibilities, whether publicly or privately maintained, will be made prior to recordation of final maps for development purposes (“B” Level Map). The following financing options can be considered for implementation:

7.16.1 Facilities and Services

- Private capital investment for the construction of facilities.
- Community Facilities District (CFD) established pursuant to the Mello-Roos Community Facilities Act of 1982, or other special district, to provide funding for the construction of a variety of public facilities and the provision of public services.
- Assessment Districts (AD) established for the purpose of funding the construction of public facilities.

7.16.2 Operation and Maintenance

- By individual private property owner.
- By homeowners’ association (HOA).

- By Landscape and Lighting Maintenance District (LLMD)
- By Community Facilities District (CFD) established pursuant to the Mello-Roos Community Facilities District Act of 1982, or other special district.

Agency approval is a prerequisite for the implementation of any and all establishment of special district and assessment district financing mechanisms.

7.17 Project Phasing

Following the certification of the Montebello Hills EIR and adoption by the City of the General Plan Amendment, Specific Plan, Zone Change, Vesting Tentative Map, and Development Agreement, the phased development of the Specific Plan area will commence in a manner designed to address the following objectives:

- Orderly build-out of the community based upon market and economic conditions.
- Implementation of financing mechanisms without creating a financial or administrative burden on the City.
- Compliance with the provisions of the Development Agreement.
- Provision of adequate infrastructure and public facilities concurrent with development of each phase.
- Protection of public health, safety and welfare.

Phasing of development will be determined by the developer and the City. Development shall be implemented through the approval of entitlements as described in Section 7.8, “Development Review and Approval Process,” for each development phase, or portion thereof, as developed. Appropriate levels of infrastructure and community facilities shall be installed and public services shall be available to serve

each phase of development as it occurs. Based on current market information, development within Montebello Hills is anticipated to occur over a time period of approximately 5 to 10 years.

7.18 Maintenance

Public and private improvements constructed as part of development of the Specific Plan area shall be maintained through a combination of public and private entities as described below.

7.18.1 Public Maintenance

Public facilities are planned for public maintenance by either the City, a special district, or by the appropriate utility service provider and include, but are not limited to, the following:

- All travel areas of public collector roadways and public local streets within the Specific Plan area.
- Public traffic signals and traffic control signs.
- Public right of way improvements within the south side of Montebello Boulevard adjacent to the Specific Plan area.
- All privately constructed public on-site water facilities, sewer facilities, and drainage facilities within the Specific Plan area.
- The public park site within the Specific Plan area which shall be dedicated to the City.
- Street lighting within public rights of way of residential collector streets.
- Public multi-use trails.

7.18.2 Homeowner Association/ Private Property Owner Maintenance

One or more homeowner associations may be established for the maintenance of private common area improvements within residential developments of the Specific Plan area. Private improvements to be maintained by the

homeowner association(s) include but are not limited to:

- Private streets, drives, and lanes.
- Private traffic control signs.
- Landscaping within the traffic circles of the community.
- Parkway landscaping within the rights of ways of all streets.
- Open space areas including graded slopes and ungraded slopes, fuel modification zones, multi-use trails, detention and water quality treatment facilities.
- Private parks and recreational facilities within residential areas.
- Walkways, community and neighborhood entries and signage, paseos, the community center, and common areas within residential areas.
- Community theme walls and fencing.
- Private courts, parkways, and landscaping within the residential areas.
- Common area facing wall surfaces, and internal slopes fronting streets along residential collector streets and interior residential streets.
- Common area landscaping and lighting.
- Private street landscaping and lighting.

7.18.3 The Reserve

Upon USFWS approval, a conservation easement or deed restriction will be placed over the Reserve within the Specific Plan area, and an endowment will be established by the applicant for the management and maintenance, in perpetuity, of the Reserve. The conservation easement or deed restriction shall be in favor of an agency or non-profit organization, in perpetuity, a non-profit organization or other entity for the ownership and maintenance of the Reserve in perpetuity.

Section 8. Design Guidelines

8.1 Purpose and Intent

The Design Guidelines of the Specific Plan establish architectural, planning, and landscape design principles for the Montebello Hills Specific Plan. These design guidelines provide the foundation for the design and construction of an aesthetically unified residential development incorporating topography and enhanced open space, while also responding to the local history of the surrounding area.

Design Guideline Objectives:

- To provide the City of Montebello with the necessary assurances that the Montebello Hills community will be developed in accordance with the quality and character proposed in this document,
- To provide guidance to developers, builders, engineers, architects, landscape architects and other professionals in order to maintain the desired design quality,
- To provide a framework for the formation of Covenants, Conditions and Restrictions, and
- To provide guidelines which permit the Montebello Hills Specific Plan area to be developed with an attractive and distinctive community identity while allowing it to interface and respond to the character and design fabric of the surrounding neighborhoods.

These Design Guidelines are intended to allow for flexibility and are illustrative in nature. In this manner, the Design Guidelines can accommodate changes over time in lifestyles, buyers' tastes, economic conditions, community desires, and the marketplace.



Courtesy www.deborahcushman.com

8.2 Introduction

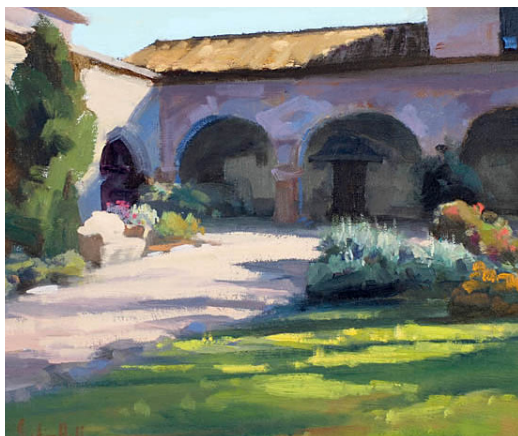
The Montebello Hills land use plan has been designed to maximize the benefits of the distinguishing qualities of its location and topography. The land use plan is influenced by and sensitive to the environment in which the community is planned.

The Design Guidelines adopted as part of the Montebello Hills Specific Plan consists of three principal components: Community Elements, Landscape Design Guidelines, and Architectural Design Guidelines. These components define the design concept, physical character, and overall design vision of Montebello Hills.

The Community Elements section of the Design Guidelines describes the major components that define the community character and support the overall design vision of the project. The community elements themselves give physical form to implement the Montebello Hills Specific Plan goals and objectives by describing guidelines to establish the character for the major entries, various streetscape treatments, intersections and roundabouts, neighborhood entries, landscape interface conditions, recreational components, and community walls and fences.

The Landscape Design Guidelines section presents general requirements for outdoor lighting, irrigation, fencing, plant selection, fuel modification, and maintenance responsibilities. A plant palette provides a specific list of plants that reinforces the community design character and which is compatible with the surrounding natural open space. The plant lists are organized within the structure of the overall landscape concept diagram.

The Architectural Design Guidelines outline selected architectural styles that reinforce the Old California vision of the community. They describe architectural style and character and present general requirements for architectural design including massing principles, building articulation, garage placement and treatment,



Courtesy www.robinhall.com

roof form and pitch, architectural projections, building offsets, materials and details, and accessory buildings.

8.3 Community Elements

8.3.1 Community Design Concept

The Montebello Hills community is located within the rolling hills which trend in an east to west direction in the City of Montebello. Existing vegetation consists of concentrations of coastal sage scrub, ruderal grassland, invasive plant species, and clusters of introduced trees. Areas designated as permanent open space will be enhanced to increase habitat value and connectivity for the California gnatcatcher through removal of non native, invasive vegetation and the replanting of specific coastal sage scrub plant species. The open space area will contain existing and restored or enhanced California native habitat and will form the cornerstone to the overall aesthetic for Montebello Hills.

The Community Design Concept focuses on establishing a strong relationship between the built environment and the preserved and enhanced natural character of the site, as well as restoring disturbed areas from past oil drilling operations. Simplicity is the primary focus of the landscape plan, utilizing a plant palette





that respects and enhances the existing native plant communities through the use of native and appropriate non-native drought tolerant species.

Non-native species will be selected for their colors and textures that will harmonize and relate to the existing preserved native habitat. Hardscape elements within the community complement the planting concept and exude a pragmatic and simple aesthetic, similar to much of the early California settlements. The hardscape features utilized will further blend with the existing landscape features creating a timeless look for the community. The landscape concept for Montebello Hills is illustrated on Exhibit 8-1, "Illustrative Plan."



In developing the Community Design Concept for the Specific Plan, a number of design objectives have been accomplished. The goals of the Community Design Concept are intended to achieve the following:

- Development of a "Classic California" style of landscape with generous common areas and a strong, simple selection of building material.
- Creation of a strong "sense of community" through landscape design elements as detailed in the landscape plan.
- Incorporation of a recreational program which is clear, identifiable, and serves the needs of the community.
- Emphasis on pedestrian and bicycle circulation throughout the community linking recreational elements.
- Consideration of water use and long term maintenance requirements in the selection of plant species and their placement.

8.3.2 Community Entries and Key Intersections

The treatment of entries and intersections within the Montebello Hills Specific Plan area establishes the overall community character for the project while establishing a design hierarchy and providing clarity of the community areas and boundaries. These community features are created through a thematic blend of hardscape



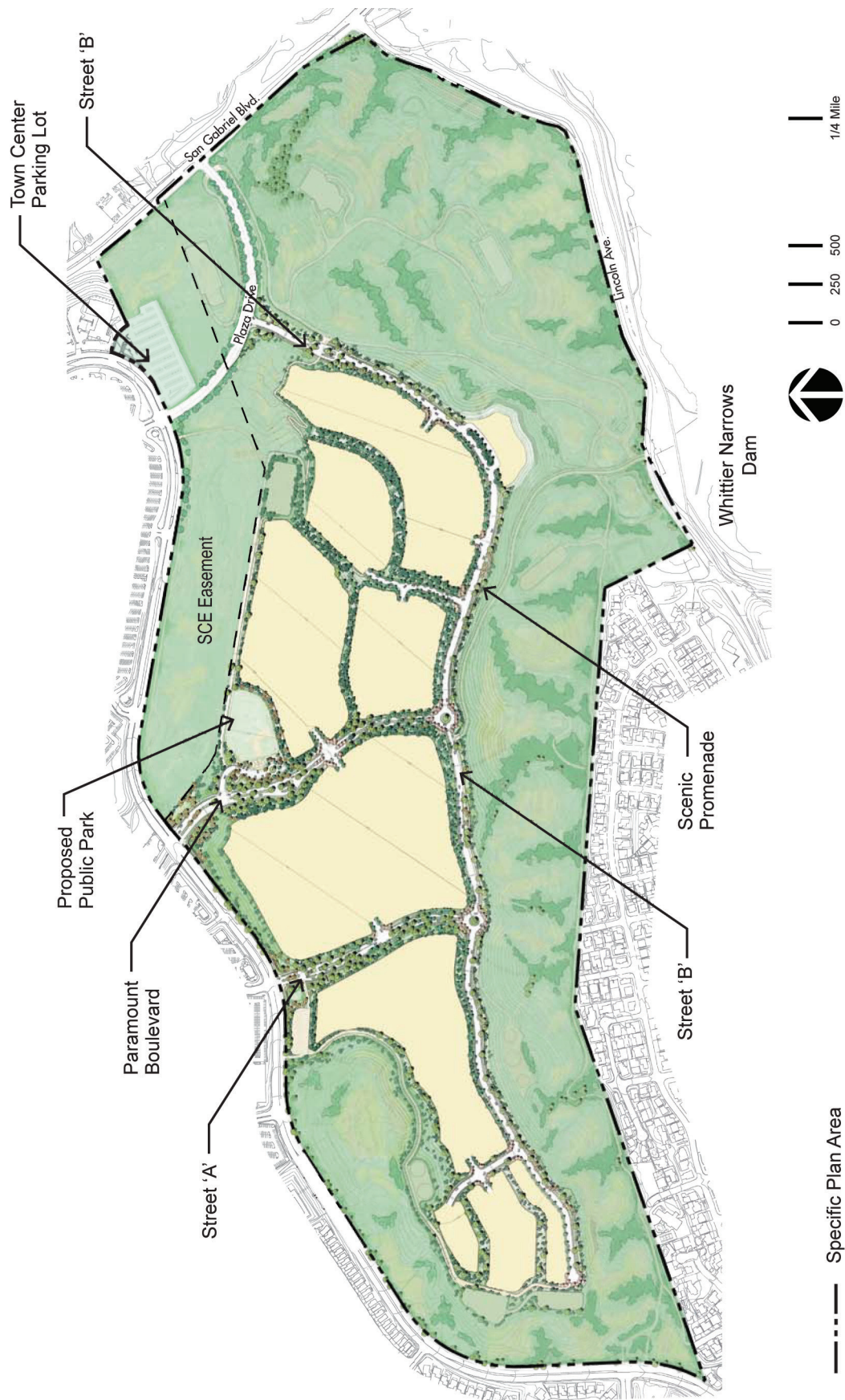


Exhibit 8-1
Illustrative Plan

elements and plant materials which become the first impression to all visitors and residents entering the community.

Primary vehicular entries are proposed for the development located at Paramount Boulevard and Montebello Boulevard and at future Collector Street “A” and Montebello Boulevard. A secondary entry is proposed from Plaza Drive at future Collector Street “B.” Each primary entry rises gradually uphill creating a series of impressions of the community. The secondary entry at Collector Street “B” also begins as a gradual uphill drive but quickly gives way to views to the south adjacent to the “Scenic Promenade.” These entry experiences help define the character of Montebello Hills by complementing the surrounding natural and man-made environments. Each entry is designed to accommodate gates should market conditions warrant community gates.

8.3.2.1 Primary and Secondary Entries

The two primary community entry intersections within the project and the one secondary entry each help to create a relaxed but strong sense of arrival. Large expansive parkways and wide medians provide the community identity by utilizing soft native and ornamental grasses and flowering shrubs. A mixture of evergreen and flowering deciduous trees provides a backdrop to the community entry monument walls. Each entry provides convenient access to all neigh-



borhoods and recreational facilities and provides the first welcoming point to all visitors and residents. Primary and secondary entries serving Montebello Hills are illustrated on Exhibits 8-2 through 8-7.

8.3.3 Streetscape Treatment

The landscape character of the streets in Montebello Hills is a significant element in creating the perception of community character, unification, and quality. These common landscaped areas link vehicular and pedestrian traffic to neighborhoods and community amenities.

The streetscapes in Montebello Hills are treated as community spaces, providing a clear hierarchy of pedestrian and vehicular circulation. Shrubs, low groundcovers, and ornamental grasses will be used to reduce maintenance, conserve water, and provide a buffered separation between pedestrian and vehicular traffic.



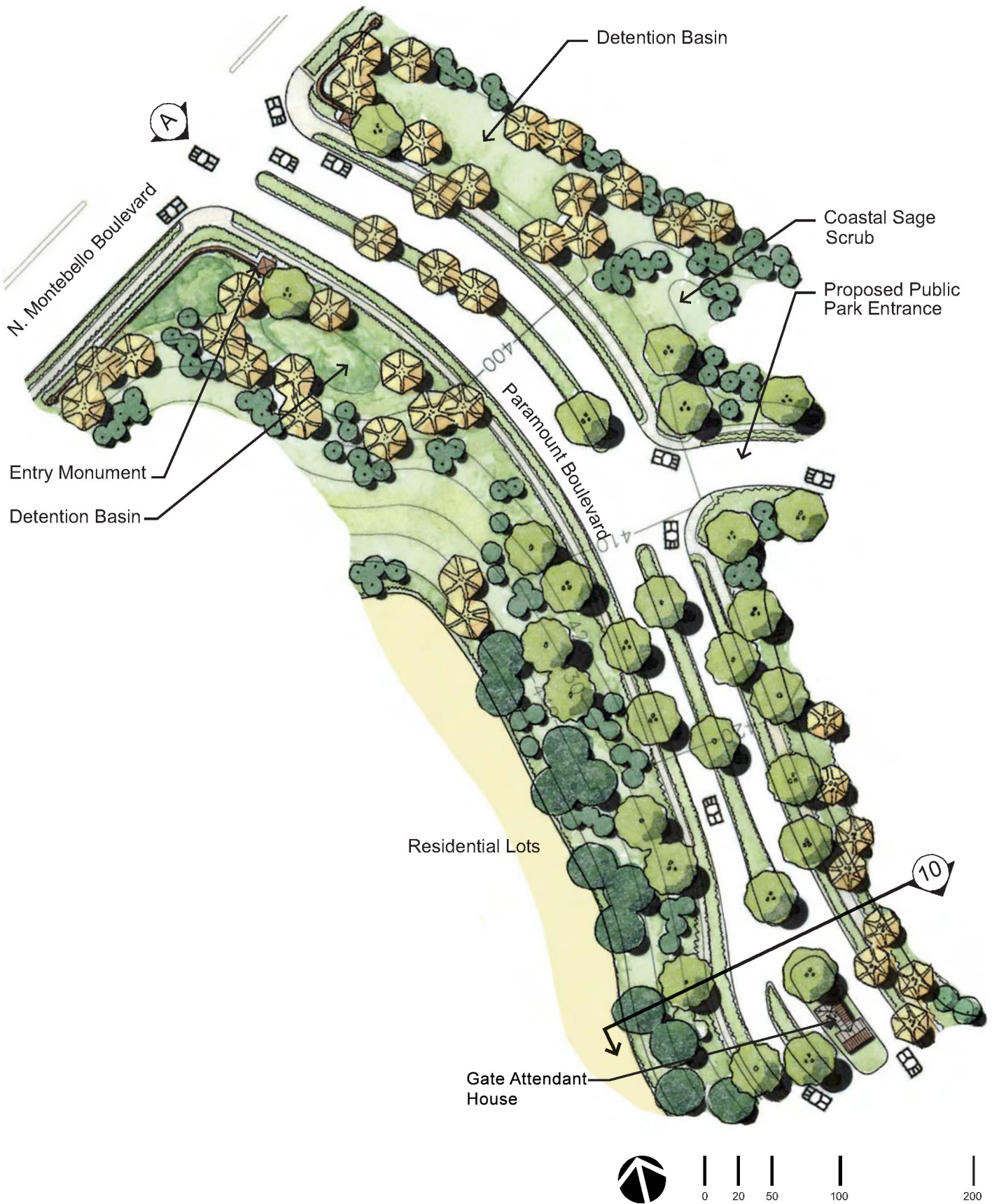


Exhibit 8-2
Paramount Boulevard Entry - Plan



Exhibit 8-3
Paramount Boulevard Entry - Elevation and Section

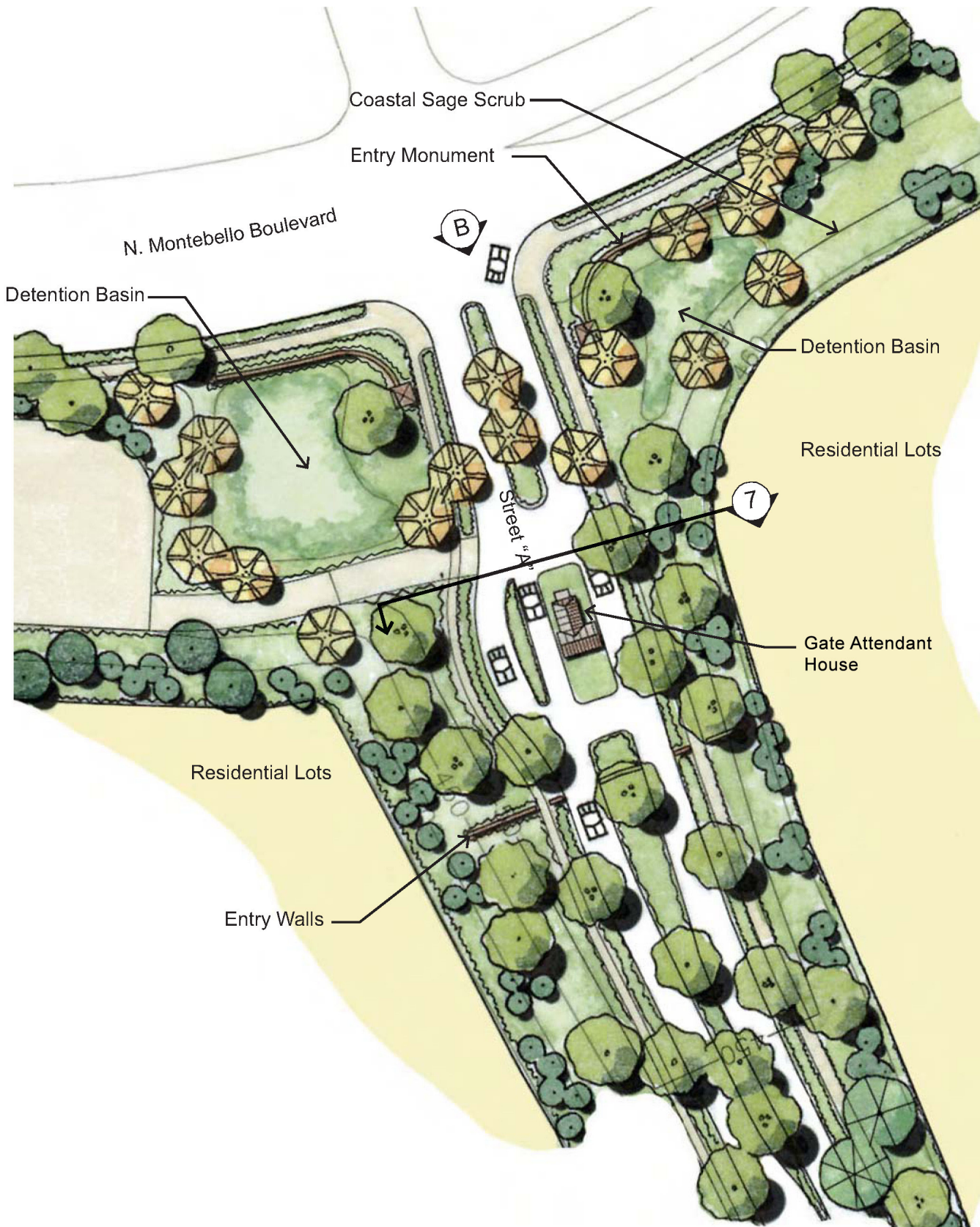


Exhibit 8-4
Collector Street "A" Entry - Plan



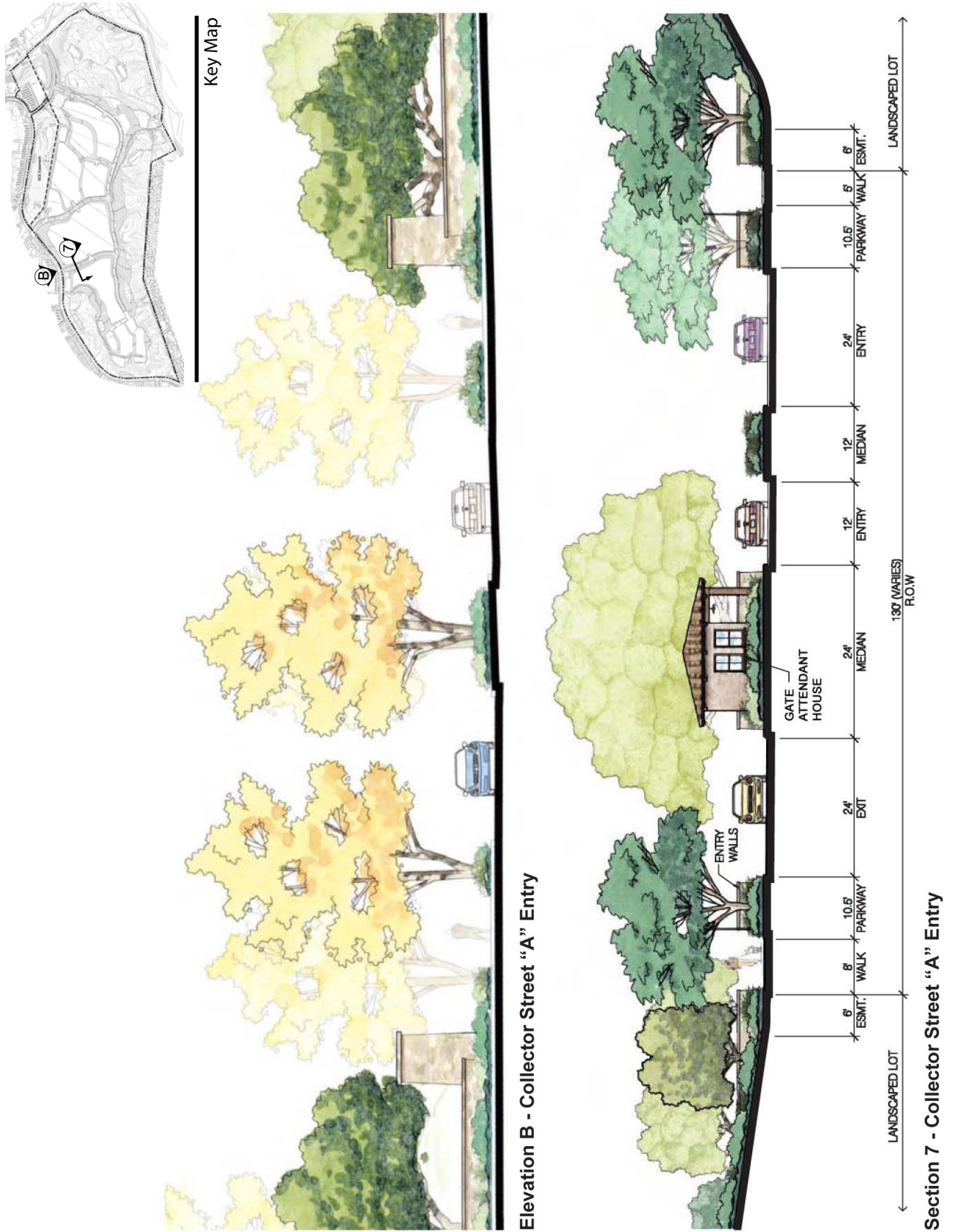


Exhibit 8-5
Collector Street "A" Entry - Elevation and Section

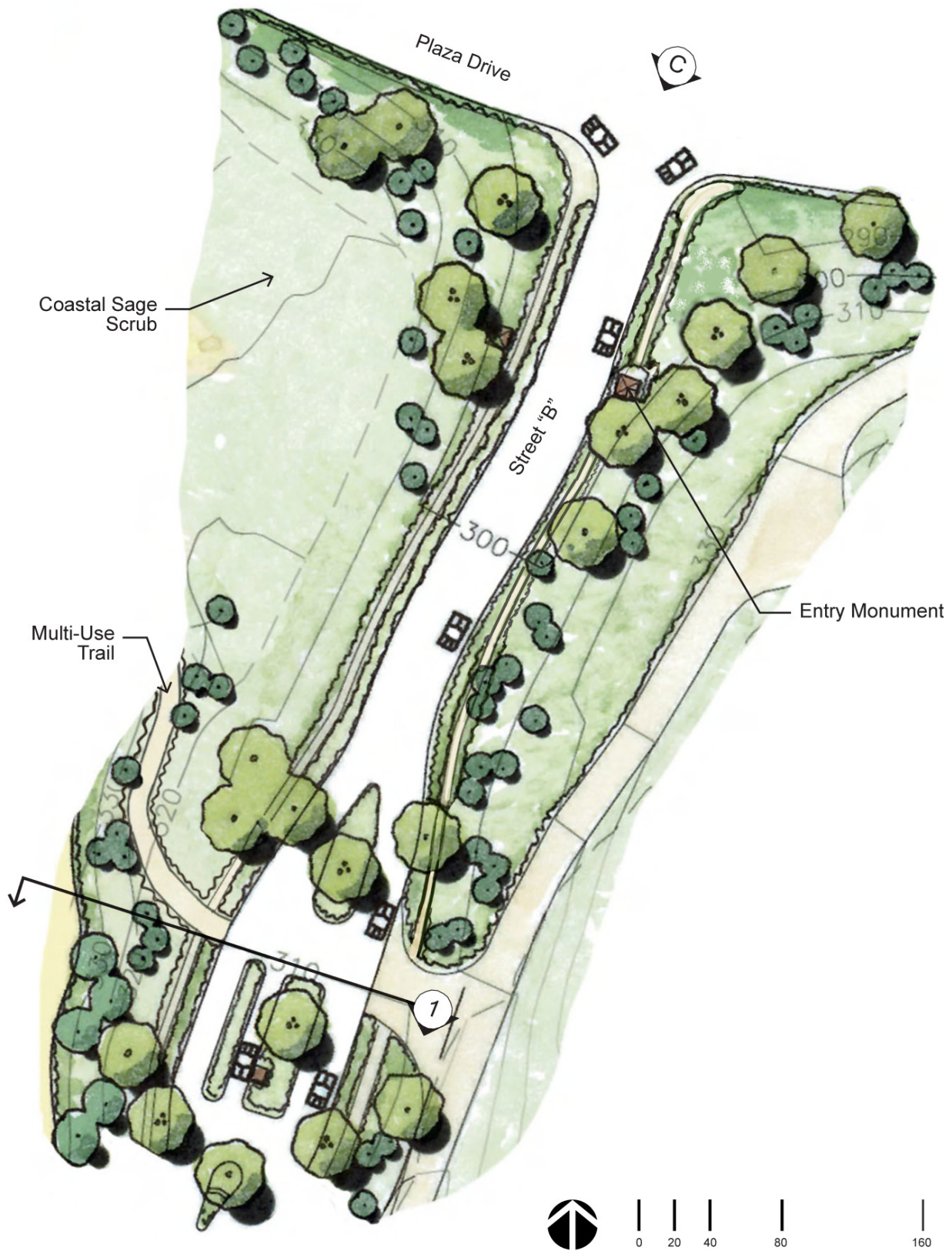
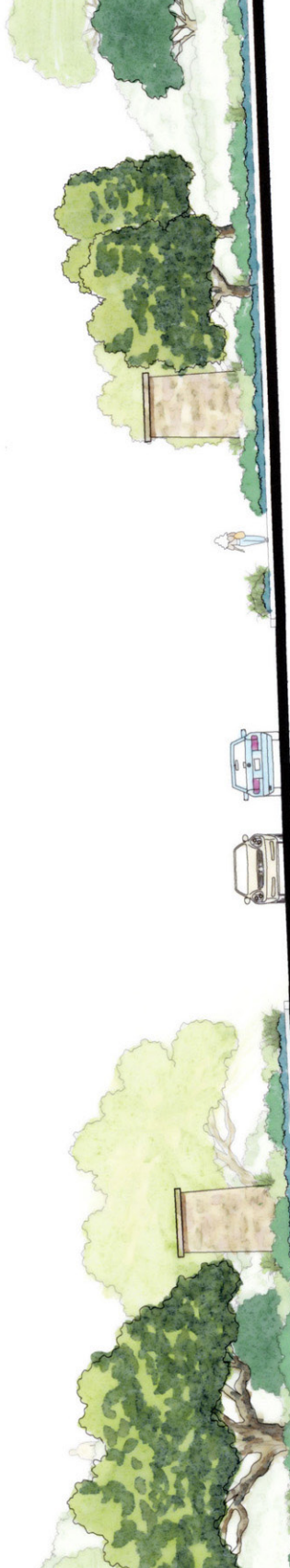


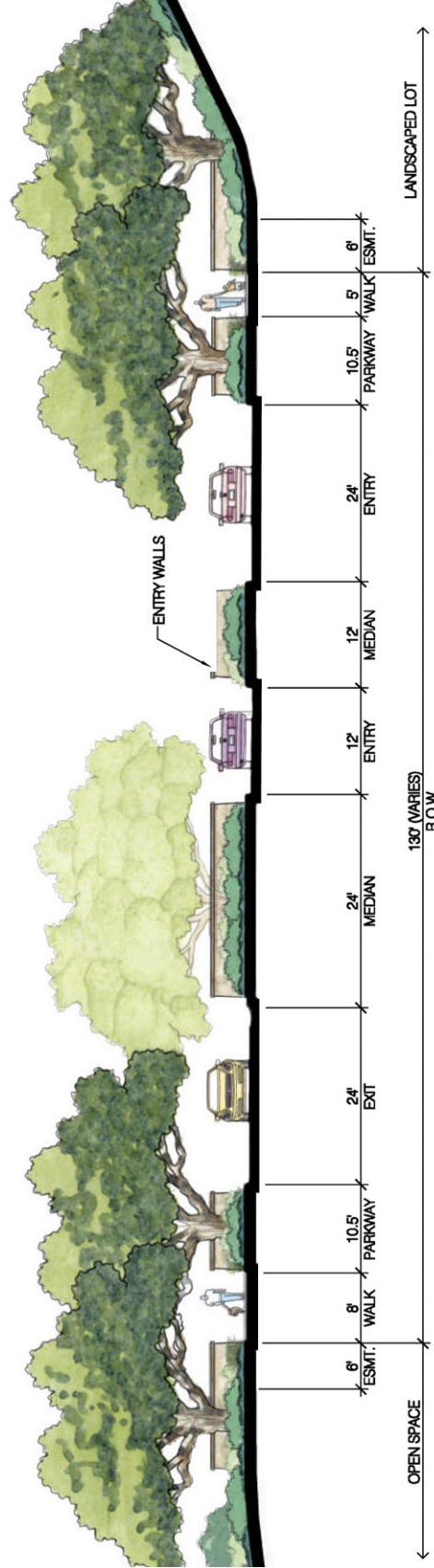
Exhibit 8-6
Collector Street "B" Entry - Plan



Key Map



Elevation C - Collector Street "B" Entry



Section 1 - Collector Street "B" Entry

Exhibit 8-7
Collector Street "B" Entry - Elevation and Section

Landscaped parkways are designed to exceed the standard parkway width in order to enhance the hierarchy of pathways and trails and to buffer residential areas from adjacent roadways.

The landscape areas within Montebello Hills focus on the use of plant materials characteristic of California materials and colors. It is important to make a strong visual connection with the natural open space surrounding the community, while also providing a pleasing landscape for common areas within the streetscapes. The informal landscape theme will include meandering drifts of shrubs, grasses, and groupings of native and non-native trees. Formalized and uniformly spaced planting of trees will be avoided when possible.

The streetscape framework is illustrated on Exhibit 8-8, “Streetscape Framework.”



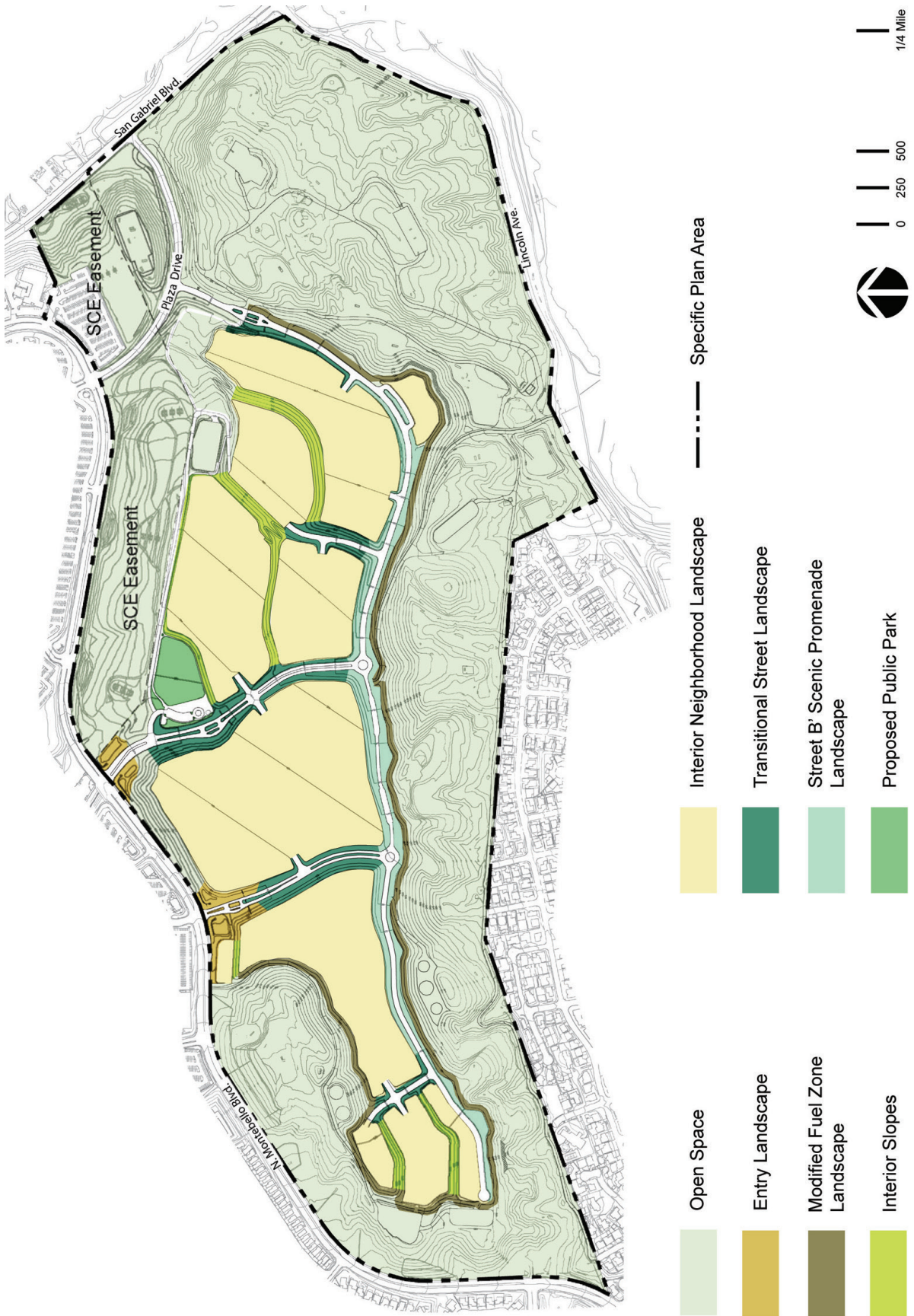


Exhibit 8-8
Streetscape Framework



8.3.3.1 Paramount Boulevard, and Collector Streets “A” and “B”

Paramount Boulevard, Collector Street “A,” and Collector Street “B” will be important areas of community identity. When combined with the open space recreational features off site, the streetscapes for these roadways serve as scenic corridors with a framework of meandering evergreen and deciduous trees, drifts of grasses, flowering evergreen shrubs, and groundcovers. The landscape treatment for these streets is illustrated on Exhibits 8-9 through 8-15. The designs of the streetscapes feature a strong landscape concept, while providing a variety of pedestrian pathway choices for residents and visitors to the community. A 5 foot wide sidewalk and an 8 foot wide expanded walk link neighborhoods to the public park site, private parks, and trails. Grading will also contribute to the design, providing spatial interest in the land formation along the streets. The topography offers areas for slope planting and massing of trees to reinforce the community’s informal design concept.

8.3.3.2 Collector Street “B” Scenic Promenade

Along the southern edge of the development area next to open space areas, Collector Street “B” will have an expanded landscape area along the street, similar to a linear park. This area includes the level land between the outside (southern) street curb and the top of slope. With its placement along the slope, the entire length will offer expansive views to the south, including the Whittier Narrows, the Western Puente Hills, and the Los Angeles basin. This area will include an 8 foot wide meandering walkway, landscaped areas, parkways, soil berming, and portions of native coastal sage scrub. The area of level ground between the edge of the street and the top of slope will vary in width, providing opportunities for small pocket parks in wider areas with bench seating, interpre-





tive exhibits, viewing areas, and turf areas. Due to the varying width, the area of fuel modification zone landscape may or may not entirely cover this area. In wider areas, the fuel modification zone will not extend all the way to the top of the slope, enabling the native coastal sage scrub to extend northward and in close proximity to the path. The path will remain within the 50 foot wide fuel modification zone and have a minimum buffer of 8 feet of modified native planting between the edge of the path and the coastal sage scrub, and will still be classified as modified fuel planting. Exhibit 8-11, “Collector Street “B,” Sections, Scenic Promenade” illustrates the “Scenic Promenade” area and Exhibits 8-12 through 8-15, “Collector Street “B” Sections” illustrate the varying conditions along Collector Street “B.”

8.3.3.3 Montebello Boulevard and Plaza Drive

The major streets bordering the Specific Plan area are Montebello Boulevard and Plaza Drive. Aside from providing vehicular access to the project, these streets serve as a travel ways to the nearby shopping, entertainment, and recreational facilities surrounding the community. Portions of Montebello Boulevard and Plaza Drive are planned for re-landscaping to enhance community entries, and to restore and enhance the native landscape along the streetscape. A planted parkway and street sep-

arated sidewalks provide pedestrian access into the community at Collector Street “A,” Paramount Boulevard, and Collector Street “B” entries. The streetscape treatments planned for Montebello Boulevard and Plaza Drive are illustrated on Exhibits 8-16 and 8-17, “Montebello Boulevard Section,” and Exhibit 8-18, “Plaza Drive Section.”

8.3.4 Neighborhood Entries

The neighborhood entries serve as the residential access for the various residential products within Montebello Hills. In addition, these entries will serve as marketing points for the residential products. Neighborhood entries occur at the intersections of internal collectors and local streets. The final design of these entries will be determined as part of the future planning of each residential enclave per the requirements of the Specific Plan.



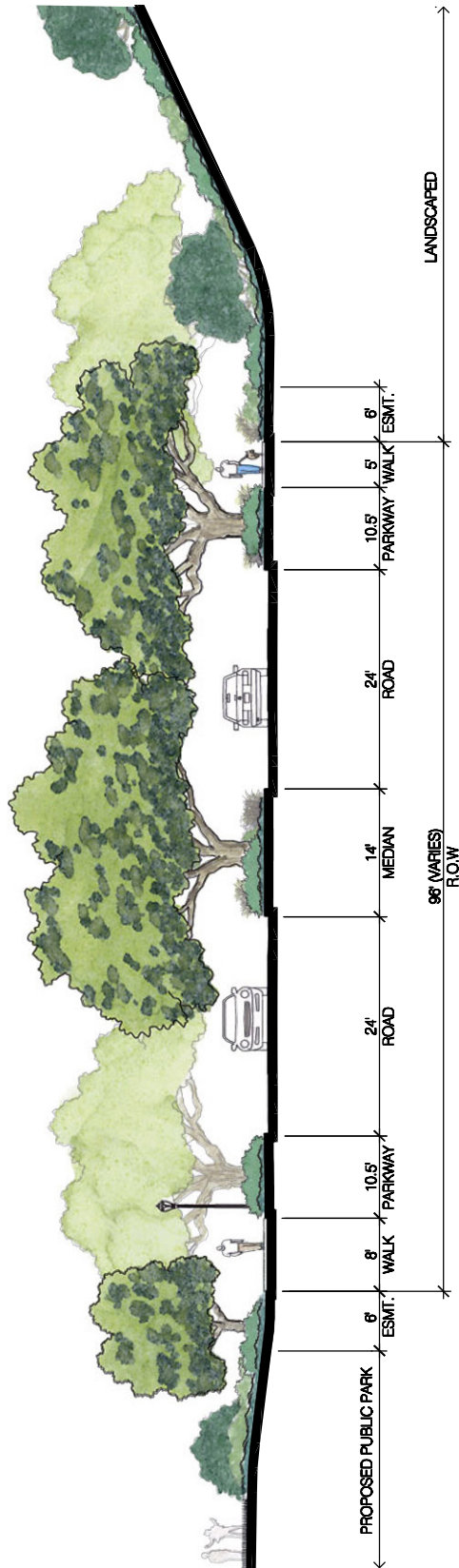
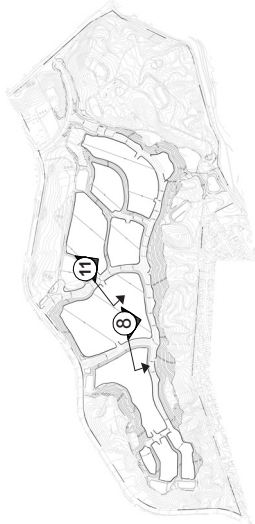
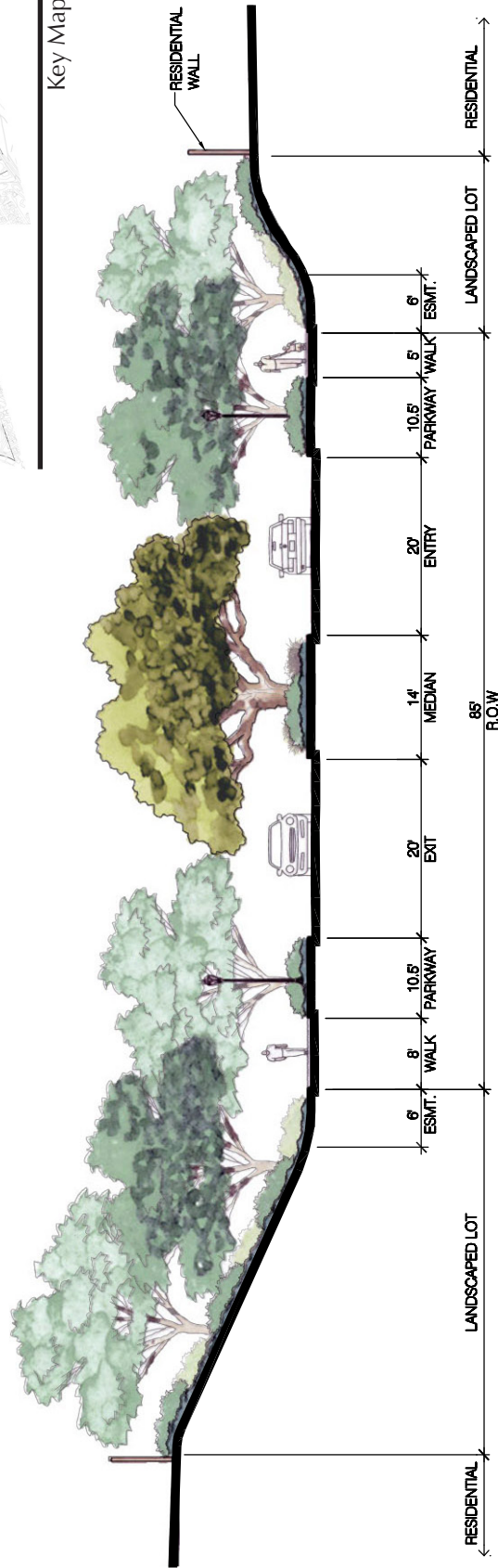


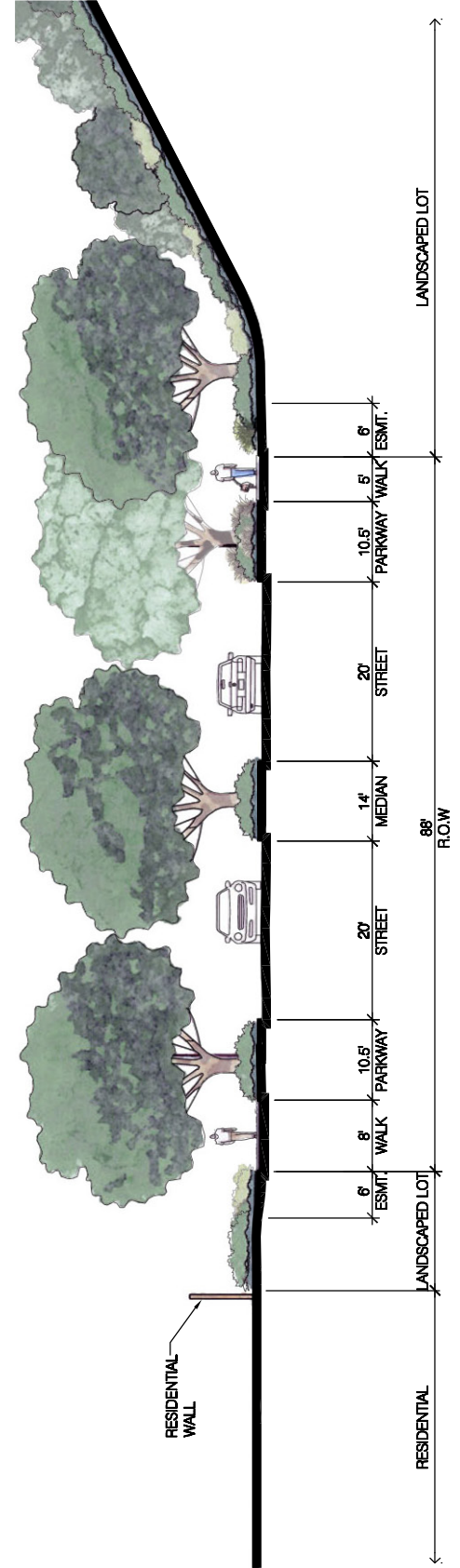
Exhibit 8-9
Paramount Boulevard - Section



Key Map



Section 11 - Paramount Boulevard



Section 8 - Collector Street "A"

Exhibit 8-10

Paramount Boulevard and Collector Street "A" - Sections

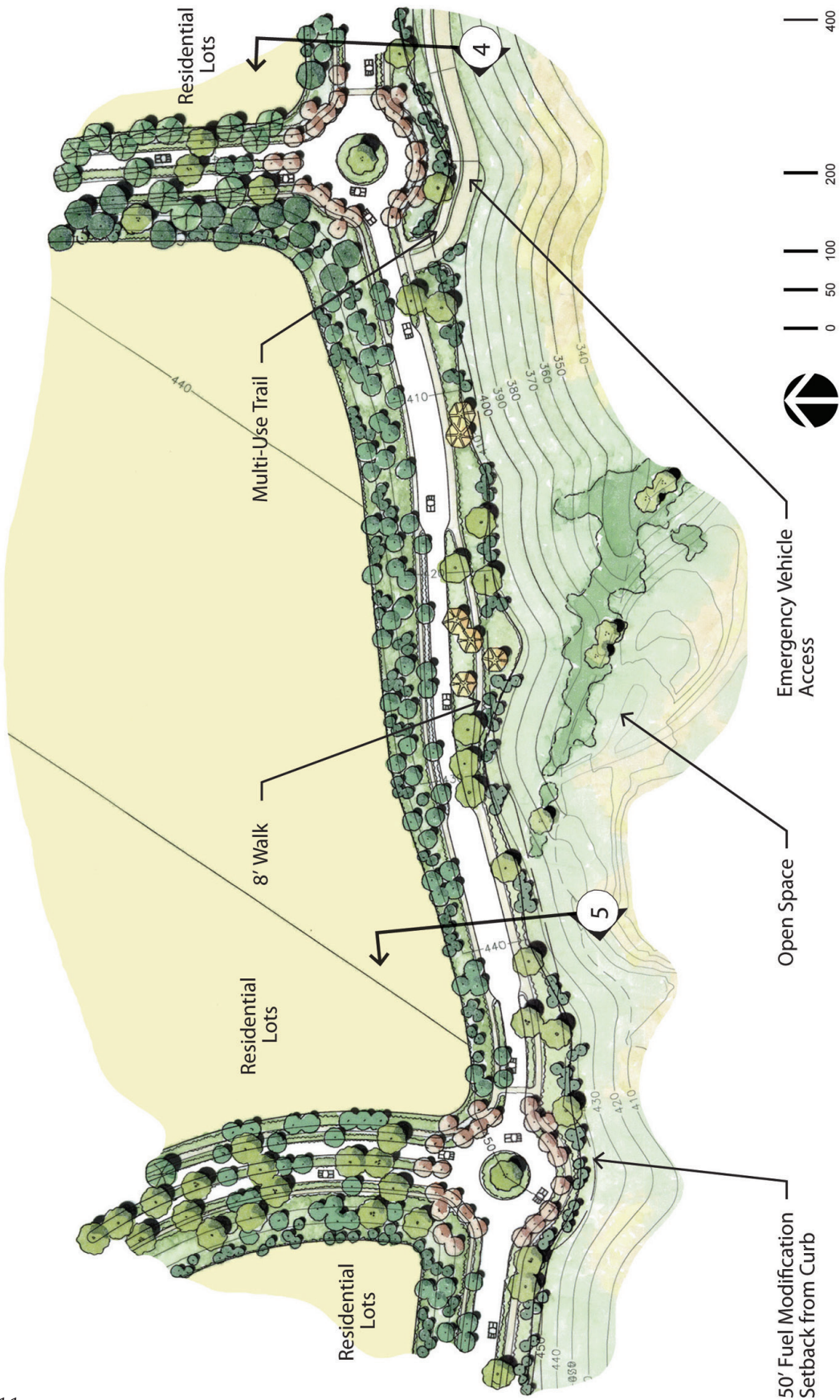
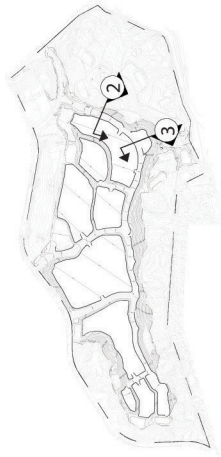


Exhibit 8-11
Collector Street "B" Scenic Promenade - Plan



Key Map

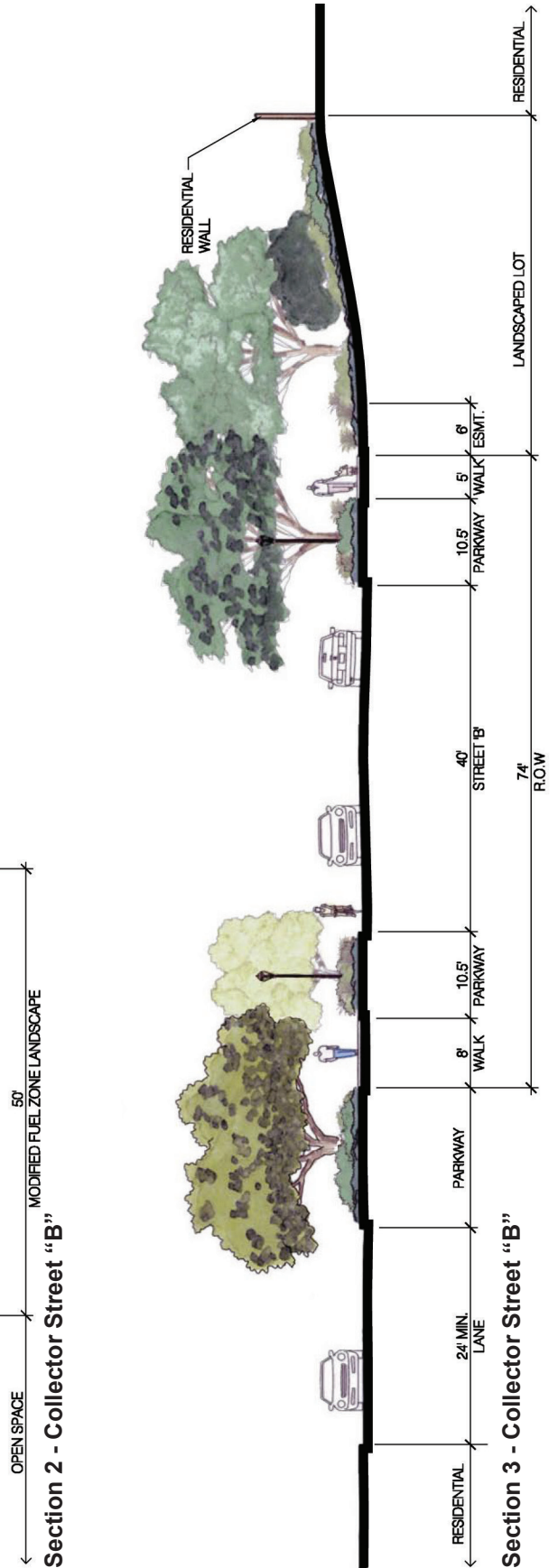
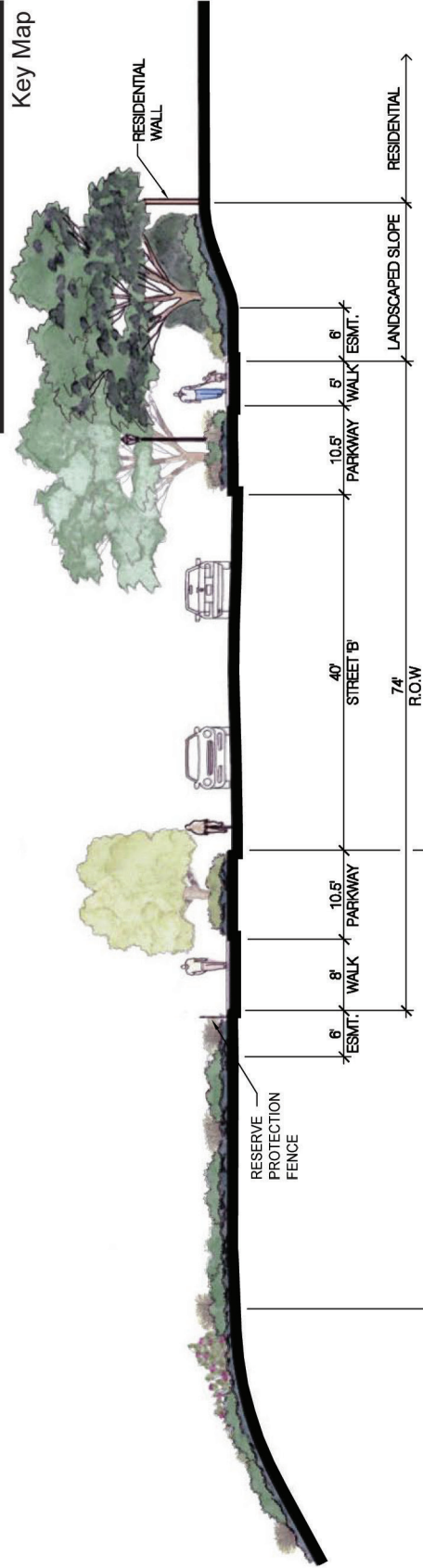


Exhibit 8-12
Collector Street "B" - Sections
 Scenic Promenade

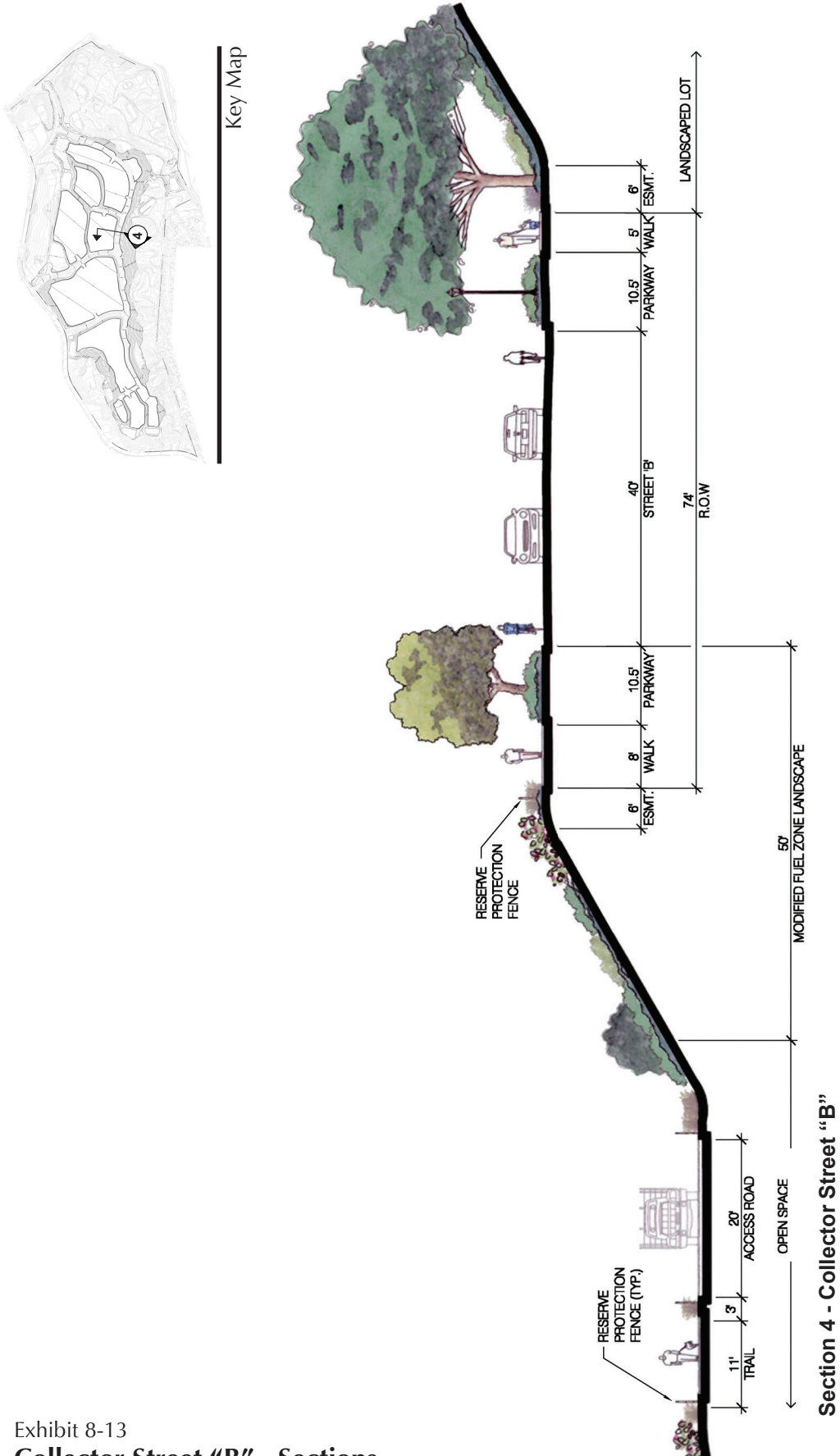
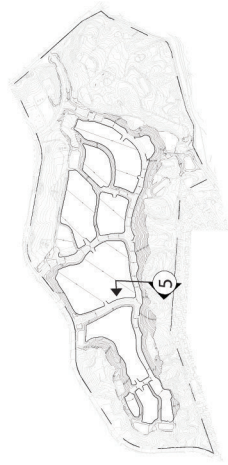
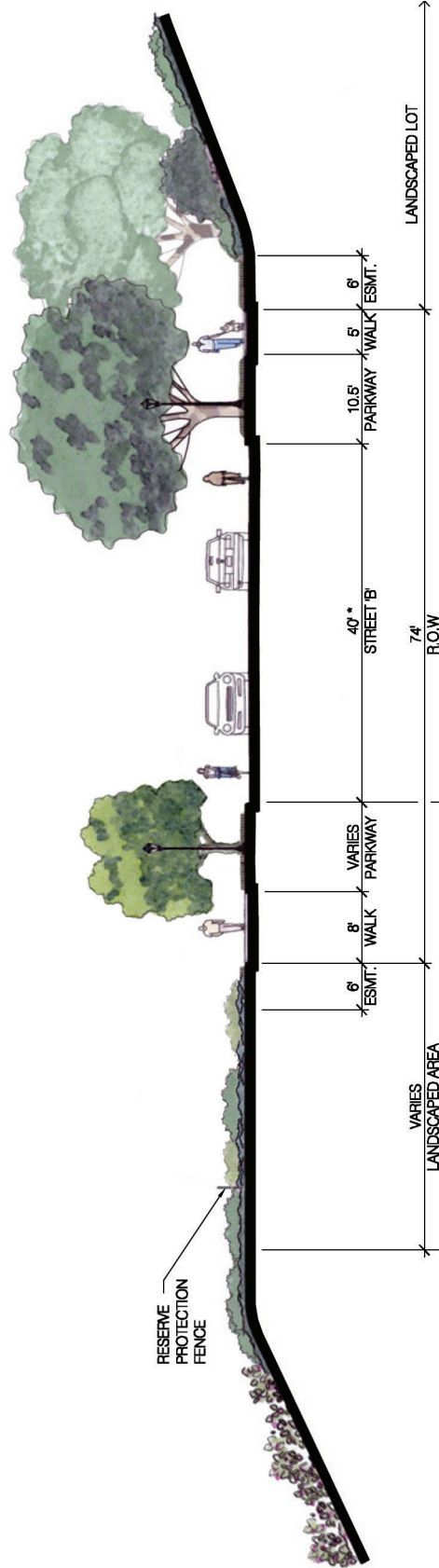


Exhibit 8-13
Collector Street "B" - Sections
 Scenic Promenade



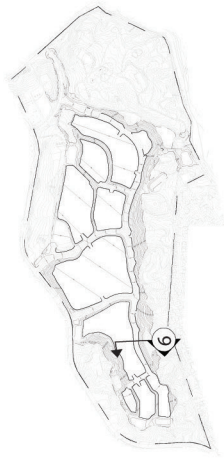
Key Map



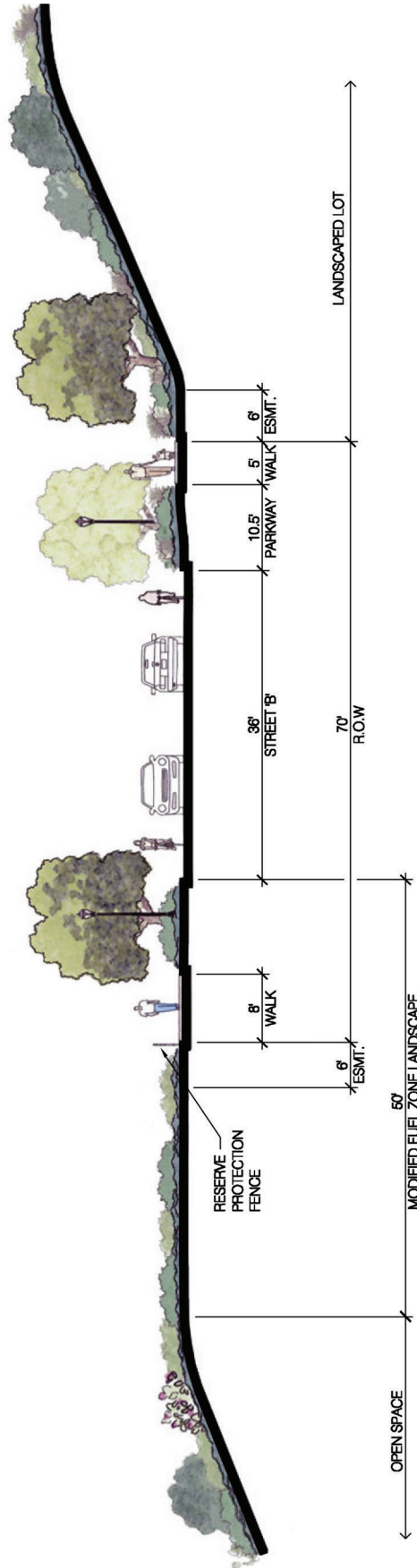
* 24' WHERE PARKING IS PROHIBITED

Section 5 - Collector Street "B"

Exhibit 8-14
Collector Street "B" - Section
 Scenic Promenade



Key Map

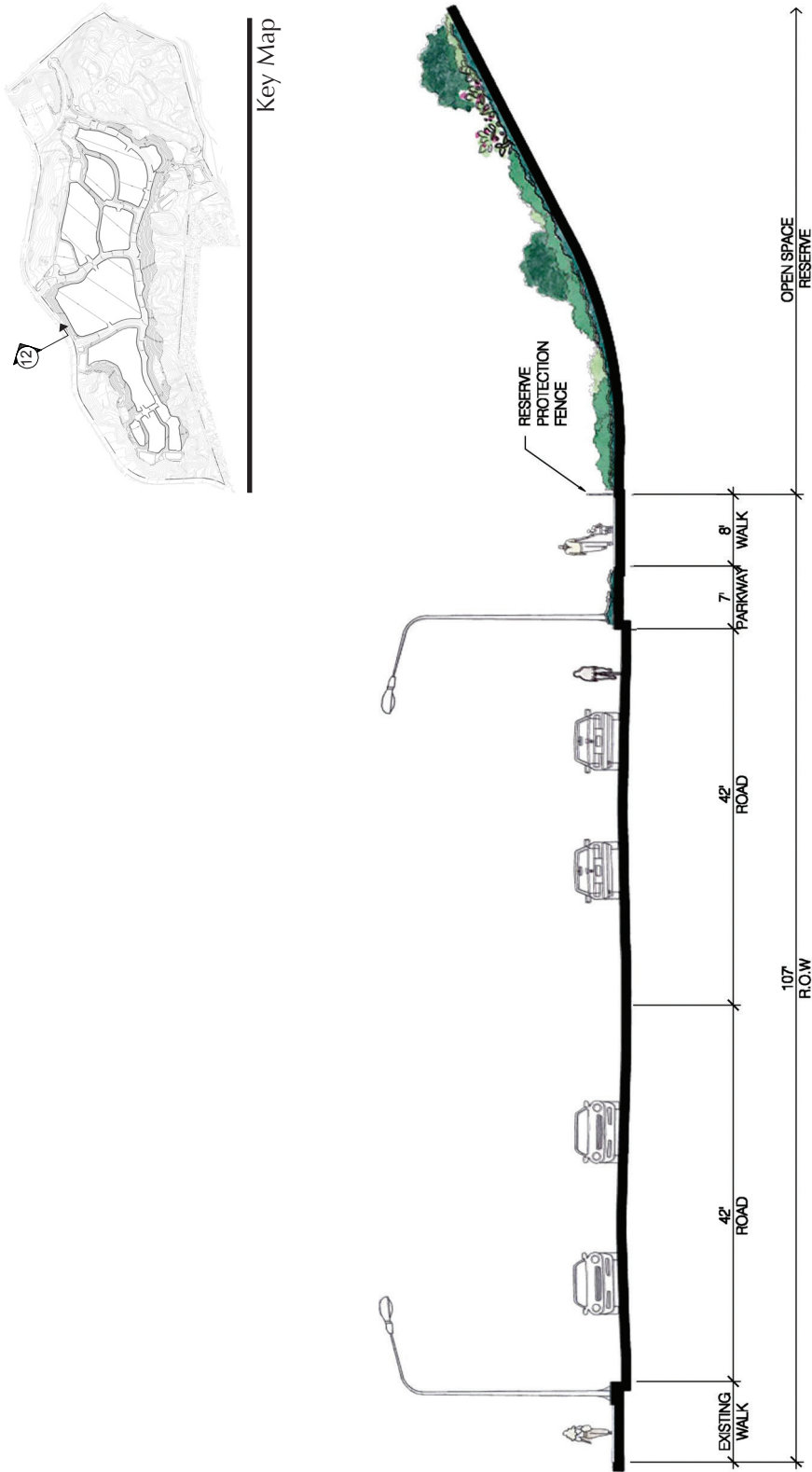


Section 6 - Collector Street "B"

Exhibit 8-15

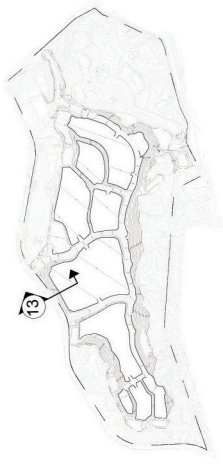
Collector Street "B" - Section

Scenic Promenade

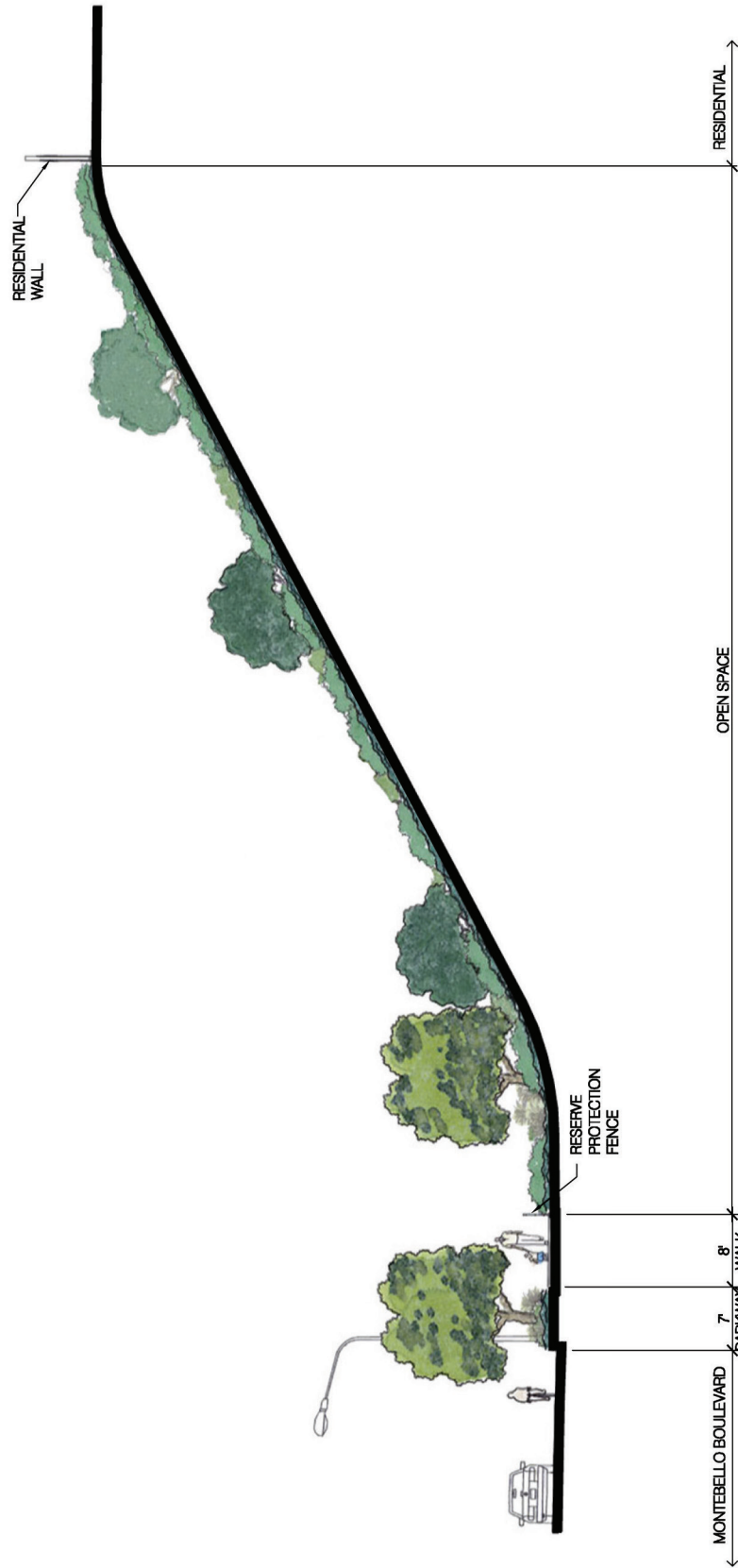


Section 12 - Montebello Boulevard

Exhibit 8-16
Montebello Boulevard - Section

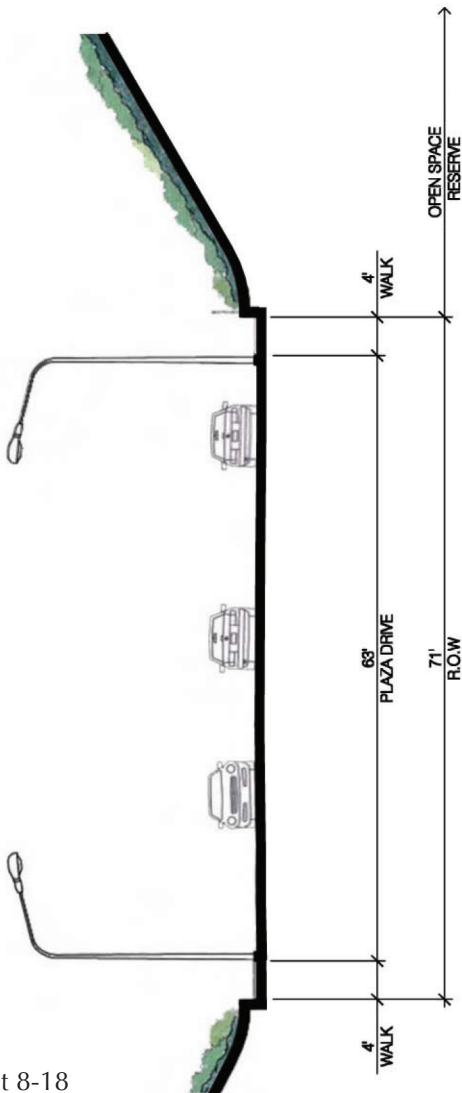


Key Map

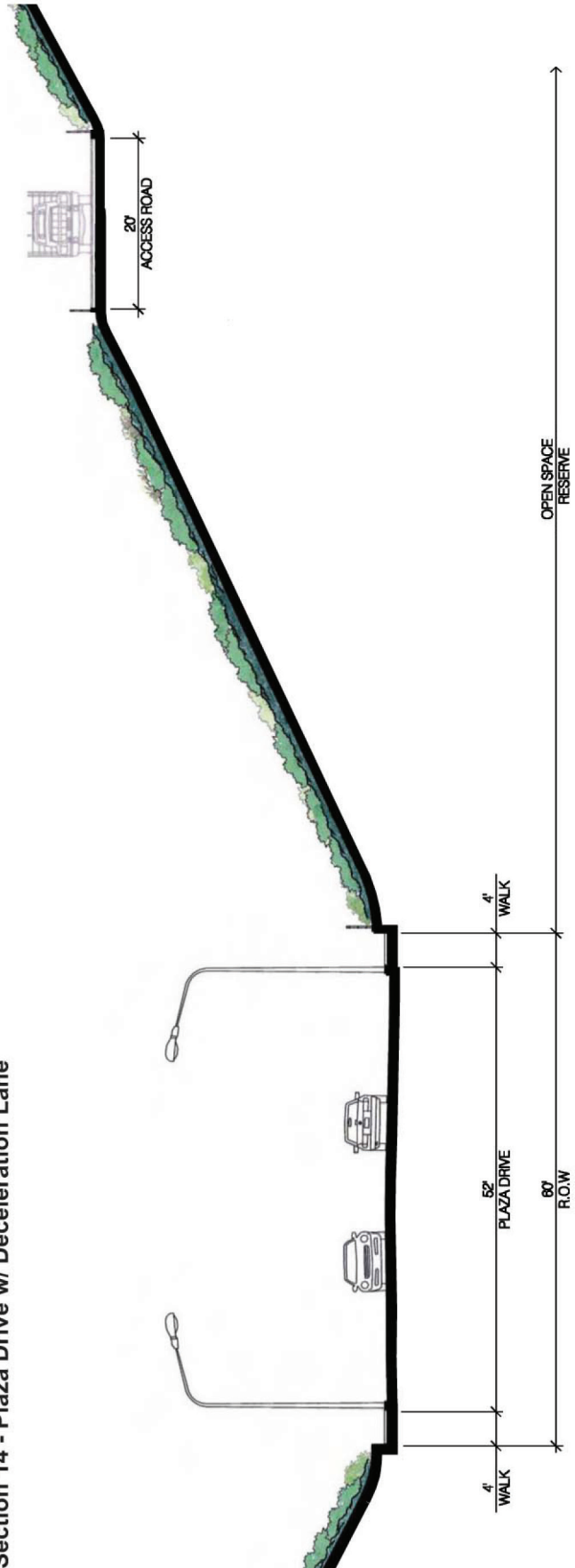


Section 13 - Montebello Boulevard

Exhibit 8-17
Montebello Boulevard - Section



Section 14 - Plaza Drive w/ Deceleration Lane



Section 15 - Plaza Drive

Exhibit 8-18
Plaza Drive - Section

The landscape palette for the neighborhood entries is compatible with and complementary to the Montebello Hills overall landscape design concept. Neighborhood entries include enhanced landscape treatments, such as large flowering accent trees, layered drifts of evergreen flowering shrubs and groundcovers. These entries may also include accent walls, pilasters, and soft landscape accent lighting to further define the neighborhood identity and enhance the entry design and identification of the various neighborhoods. The landscape concept for neighborhood entries is illustrated on Exhibit 8-19, “Typical Neighborhood Entry Plan.”

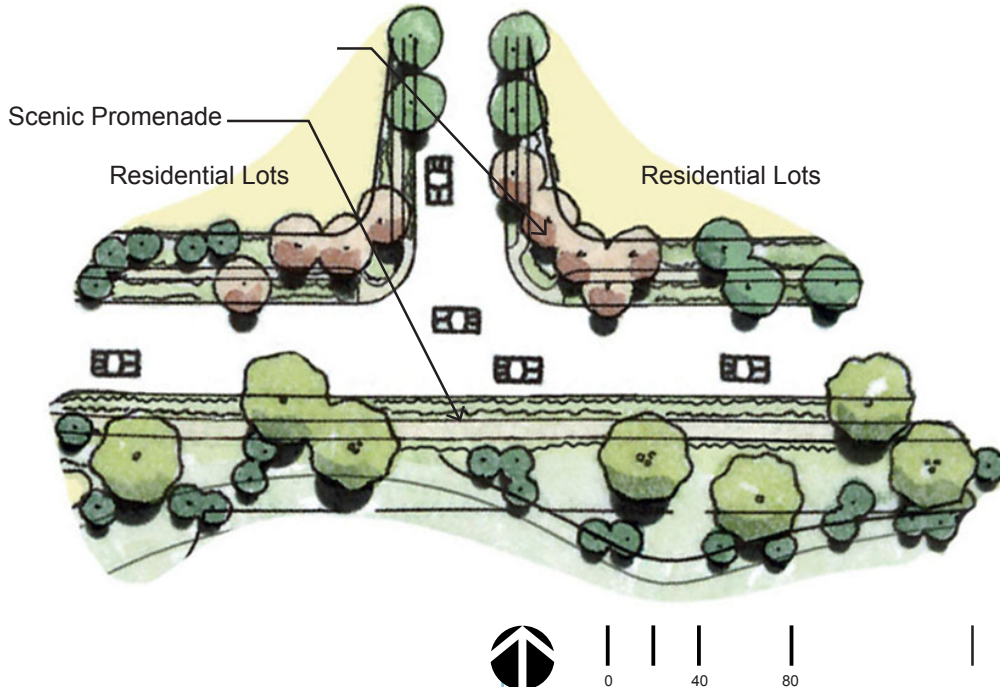


Exhibit 8-19
Typical Neighborhood Entry - Plan

8.3.5 Roundabouts

The design of Montebello Hills includes the development of a roundabout located at the intersection of Collector Street “A” and Collector Street “B” and a roundabout located at the intersection of Paramount and Collector Street “B.” The roundabouts provide traffic calming and facilitate vehicular circulation while also providing landscape interest to the street scene. The landscape character of the primary entry street carries into the roundabouts, accentuating the roundabout with additional flowering accent shrubs, larger specimen planting and low accent walls. Exhibit 8-20, “Roundabout Plan,” illustrates the landscape concept for roundabouts.

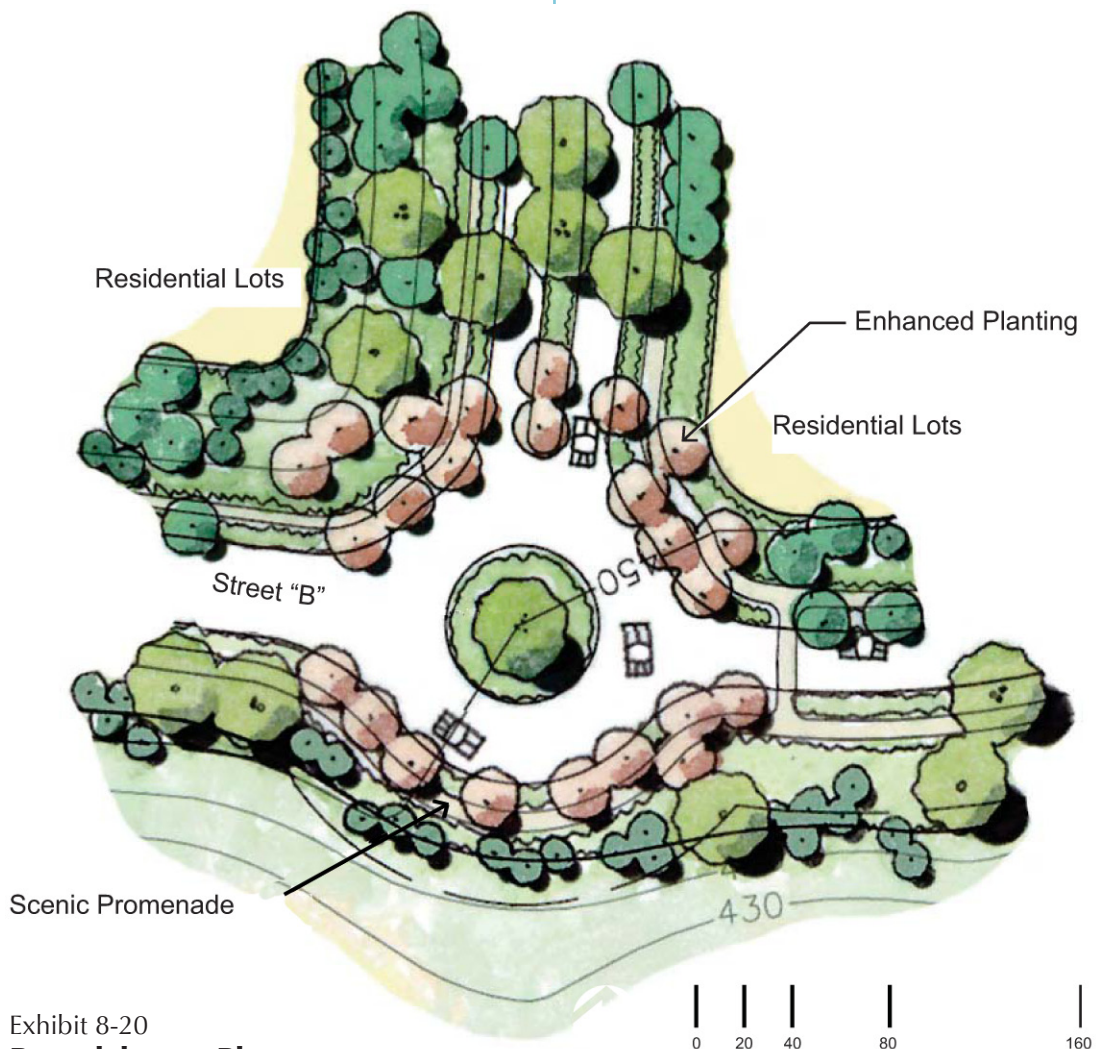
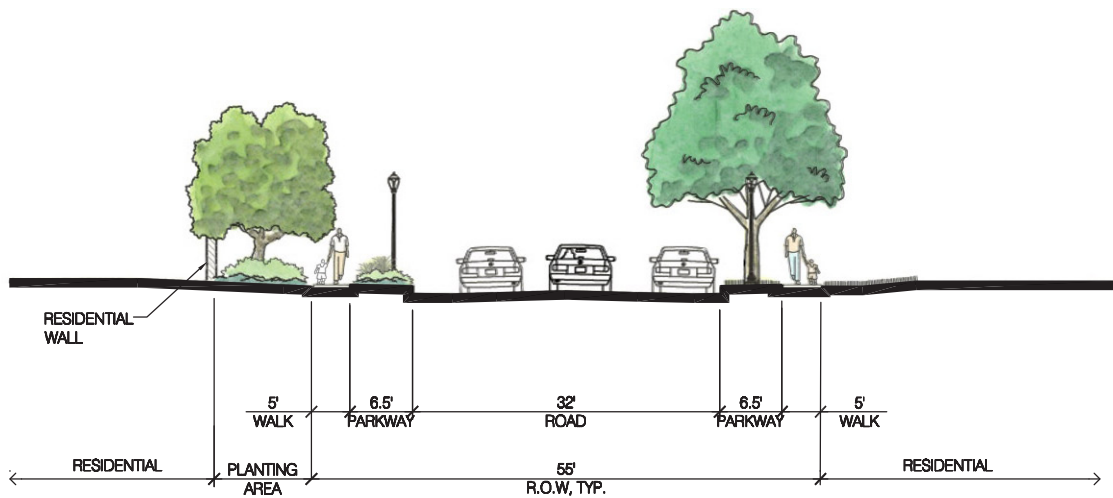


Exhibit 8-20
Roundabout - Plan

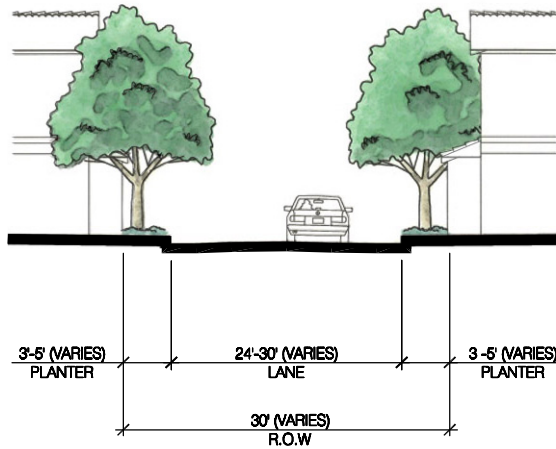
8.3.6 Local Streets and Lanes

The local streets within Montebello Hills connect private front or side yards of single family detached, and single family attached, and multi family residences. Street trees, parkways, and exterior common areas will be maintained by the Homeowners Association and installed by the developer or residential builder. The streetscape sections for local streets and lanes within Montebello Hills are illustrated on Exhibits 8-21 and 8-22, "Local Streets – Sections."



Local Road - Parking One Side

Exhibit 8-21
Local Streets - Sections



Lane - Typical

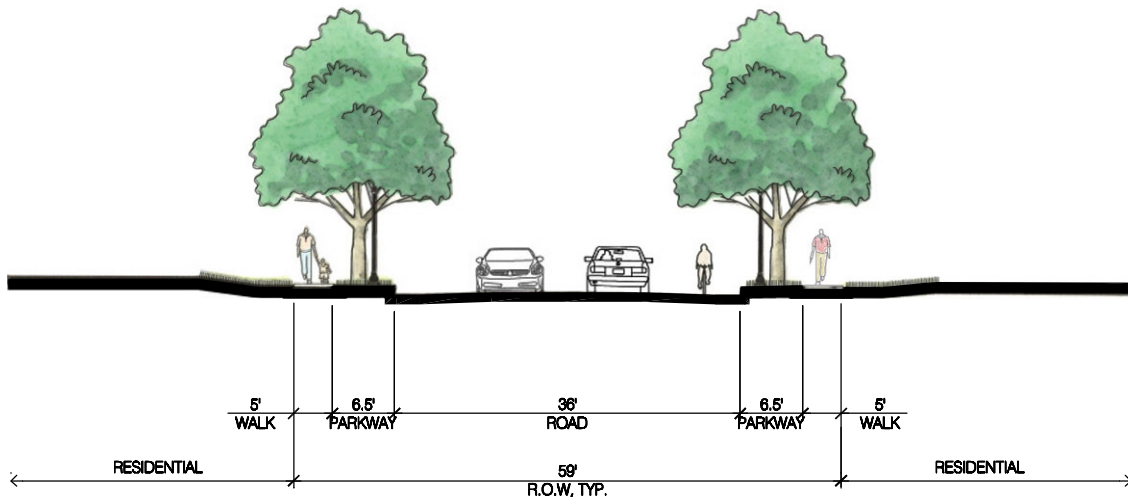


Exhibit 8-22
Local Streets - Sections

8.3.7 Park/Recreation Amenities

The quality of the recreational components and their proper integration into the community fabric is a critical component for a successful community. The Montebello Hills Specific Plan has been designed with an abundance of recreation amenities to ensure the successful establishment of a vibrant community. These amenities will not only provide recreational opportunities for residents but significantly enhance the overall aesthetic of the community.

The park and recreation program for Montebello Hills consists of several major elements including a proposed public park site, a private recreation center for Montebello Hills residents, several private neighborhood parks, and an extensive publicly accessible trail system. The publicly accessible trail system planned for Montebello Hills provides access to on-site facilities and connects to existing streets located at the boundary of the Specific Plan area providing access to numerous off-site parks, recreation areas, and trails. The system of parks and trails planned for Montebello Hills is illustrated on Exhibit 8-23, "Parks and Trails Plan." A few of the off-site amenities within close proximity to the Montebello Hills Specific Plan area are:

- Grant Rea Park
- Bosque Del Rio Hondo
- Whittier Narrows Recreation Area
- Juan Matias Sanchez Adobe



- Rio Hondo River Bike Trail
- Henry Acuna Park
- Taylor Ranch Park

8.3.7.1 Proposed Public Park Site

A park site is proposed to be dedicated to the City of Montebello for the City's construction of a public park. The park site, as illustrated on Exhibit 8-24, "Proposed Public Park - Conceptual Plan," is designed to maximize the efficiency of organized sports, focusing on youth baseball, softball, and soccer, within a large multi-purpose field. Passive use areas have been accommodated in the park which could include barbecues and picnic areas, with ample bench seating. As conceptually designed, the park will be accessed from Paramount Boulevard, just past the community entry at Montebello Boulevard and before the residential entry. As conceptually designed, the park entrance will lead into a parking area with a circular drop-off location at the end, providing for safe pedestrian circulation to the park from the parking area. The pedestrian paved areas may include bench seating, shade structures, and trash receptacles. Park structures could include a multi-purpose building of approximately 1,500 square feet, a group picnic shelter, and a building for restrooms and equipment storage.

Conceptual Public Park Program elements include:

- Baseball/Softball field with soccer overlay
- Restrooms/Equipment Storage, Multi-Purpose Room
- On-site parking
- Group Picnic area with shelter
- Walking/jogging path
- Barbecues
- Basketball Court
- Tot lot
- Shade tree plantings and passive turf areas

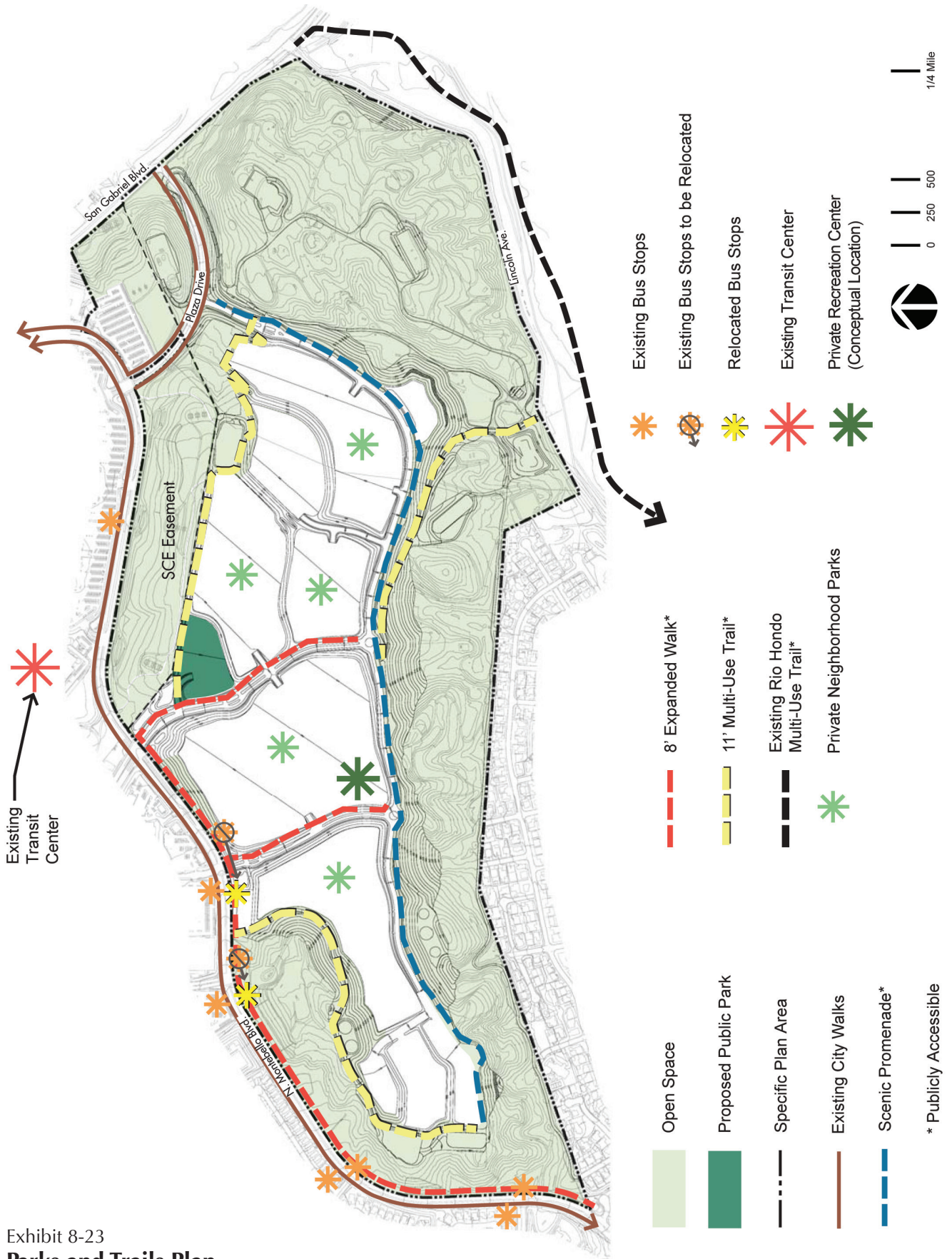


Exhibit 8-23
Parks and Trails Plan



Exhibit 8-24

Proposed Public Park - Conceptual Plan

8.3.7.2 Private Recreation Facility

A private recreation facility is planned within the Specific Plan area for exclusive use by Montebello Hills residents. The facility, comprising approximately one and one half to two acres, could be adequately sited in different locations within the Specific Plan area, optimally located in an area afforded views off the site towards the south. The conceptual plan for a private recreational facility within the community is illustrated on Exhibit 8-25, "Recreation Center - Conceptual Plan."

Elements which could be developed as part of the private recreation facility include:

- Junior Olympic Pool, approx. 75' x 40'
- Wading Pool
- Spa



- Covered Pool Cabanas and Shade Trellis
- Built-in Barbecues
- Community Center Building
- Restroom, Shower, and Pool Equipment Building
- On-site Parking
- Secure Fencing and Gate System
- Tennis Courts (one or two)
- Turf Area
- Lighting

Exhibit 8-25, "Recreation Center- Conceptual Plan," illustrates a conceptual layout for the private recreational facility from a programmatic standpoint. Exhibit 8-25 illustrates one potential scheme incorporating all of the elements listed above within a site located at the corner of Collector Street "A" and Collector Street "B." In this scheme the community building could serve as a prominent architectural focal point within the community, easily accessible by residents, and could also serve to frame the interior layout of the facility.





Exhibit 8-25
Recreation Center - Conceptual Plan

8.3.7.3 Private Neighborhood Parks

Several small, private parks are planned to be developed throughout the community for use by the residents in each neighborhood. These parks may be sized and programmed differently based on the type of housing in each area. It is essential that these parks be easily accessible, planned and located to maximize adjacent views where available, and be connected to the community trail and path system. Exhibit 8-23, "Parks and Trails Plan," illustrates the potential locations of these parks.

Private Neighborhood Park Program Elements include:

- Turf Area
- Pedestrian paths, with connections to adjacent trails or path system
- Lighting
- Benches
- Picnic Tables
- Tot Lot
- Dog Park



8.3.7.4 Trail and Pedestrian Path System

The proposed system of trails and paths throughout the Specific Plan area forms a centerpiece of the park and recreation plan of Montebello Hills. The trails system provides a seamless link for walkers, joggers, and cyclists, connecting neighborhoods, parks, and open space. A publicly accessible expanded walkway along Montebello Boulevard and a separate publicly accessible trail through the open space area will provide safe and easily accessible pedestrian and bicycle routes through the community, to open space, to view areas, and to the boundaries of the Specific Plan area. Where the trails system terminates at existing public roadways adjacent to the project boundary, pedestrians and bicyclists can continue on these public roadways to connect to the existing Rio Hondo trail and to the Whittier Narrows Recreation Area.



An 11 foot wide multi-use trail provides public access through the open space area and may be adjacent to emergency vehicle access roads. An 8 foot wide publicly accessible expanded pedestrian walk will occur along one side of all major collector streets within the Specific Plan area and also along portions of Montebello Boulevard. The Montebello Hills trails system will also provide an opportunity for interpretive exhibits on the natural environment and local history. The 11 foot wide multi-purpose trail will close at dusk in keeping with the requirements of the USFWS.

8.3.8 Landscape Interfaces

8.3.8.1 Residential Landscape Interface with Southern California Edison Easement

Several residential lots along the northern portion of the project, east of Paramount Boulevard, will interface with the Southern California Edison (SCE) power line easement. Between the residential lots and the easement there will be an access road for oil operations and a publicly accessible multi-use trail. Informal masses of tree and shrub plantings will be provided to screen the residential units from Montebello Boulevard, and to provide privacy for residences from the adjacent trail and access road. The edge treatment planned between residential areas and the SCE Easement is illustrated in Exhibit 8-26, "Landscape Interface Sections."

8.3.8.2 Residential Landscape Interface with Public Park

Residential lots adjacent to the proposed public park site may have a view fence along the top of slope as illustrated on Exhibit 8-26, "Landscape Interface Sections." Clusters of trees will be planted at property lines or at other locations to frame views from the residential units and soften the impact of the architecture from the park site at the top of the slope. Shrubs, ground-covers, and trees will be arranged in casual drifts to provide a rich layering effect and an informal feel to the slope planting.

8.3.8.3 Residential Landscape Interface with Oil Pad

Several residential lots within the community will interface with an existing permitted oil pad. Residential areas abutting the permitted oil pad site will be buffered with a residential wall or tubular fence enclosing the rear and/or side of the residential property adjacent to the oil pad as illustrated on Exhibit 8-29, "Landscape Interface Sections." The landscape area along this interface varies in width but will provide a sizeable landscape area for informal massing of shrubs and groundcover in a variety of sizes. Tree planting will vary between deciduous and evergreen masses with a majority of the evergreen species planted in an arrangement providing buffering along the edge of the nearby oil pad. The owner and operator of the oil pad may dictate landscape treatment along the perimeter of the facilities but will be encouraged to allow clusters of evergreen trees to provide a buffer adjacent to residential land uses. All planting will adhere to guidelines set forth by the Montebello Hills Specific Plan, the Montebello Hills Fire Protection Program, and project biologist.

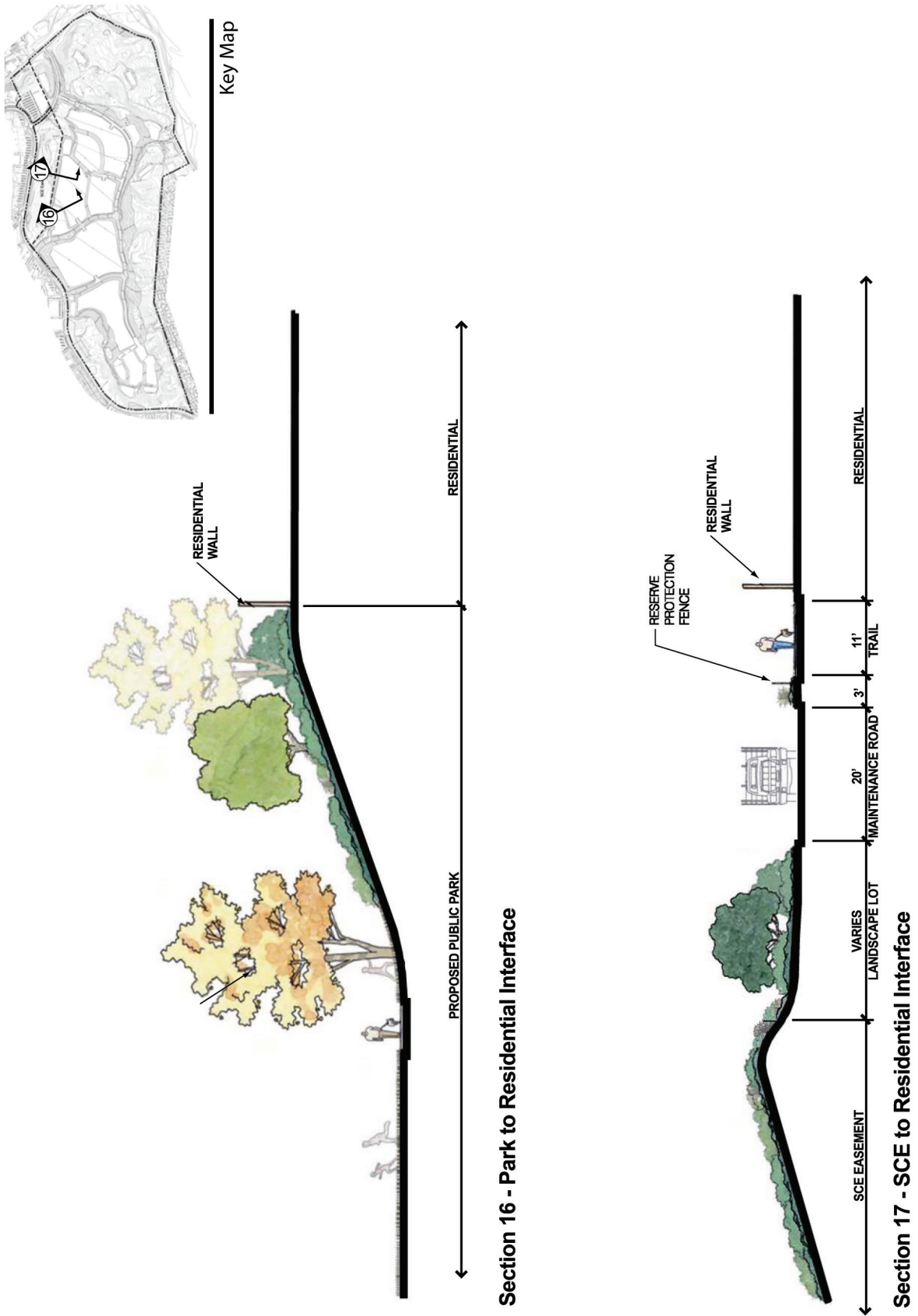


Exhibit 8-26
Landscape Interface Sections

8.3.8.4 Residential Landscape Interface with Fuel Modification Zone

Several residential lots within the community will interface directly with the Reserve. A zone of modified fuel planting will serve as a buffer between these areas providing a modified plant palette adjacent to homes. A residential wall or tubular fence may enclose the rear and/or side of the private residential property adjacent to a fuel modification area. The landscape area along this interface varies in width. The fire protection zone includes a non-combustible setback Zone A-1, and an expanded non-combustible Zone A-2, and irrigated Zone B. Zone B will provide a 50 foot wide landscape area for informal massing of shrubs and groundcovers creating a “modified” coastal sage scrub landscape edge and transition to coastal sage scrub habitat areas. Shrub planting will vary between deciduous and evergreen masses and shall adhere to the Montebello Hills Fire Protection Program for fire protection. The treatment of residential areas abutting fuel modification zones is illustrated on Exhibit 8-27, “Fire Protection Zone Section.”

8.3.8.5 Fire Protection Plan

Several Planning Areas within Montebello Hills require a “Fire Protection Plan.” The Fire Protection Plan highlights those areas of the project that will interface with a “Fire Protection Zone.” The fire protection zone varies in ultimate width depending on the location within the site. In general, there are three distinct zones, “A-1” non-combustible setback, “A-2” expanded non-combustible and “B” zone permanently irrigated modified landscape. Each zone is designed in a specific way to help suppress a fire if it should occur. Each zone is described in greater detail below and illustrated on Exhibit 8-28, “Fire Safety Plan” and Exhibits 8-29 and 8-30, “Landscape Interface Sections.”

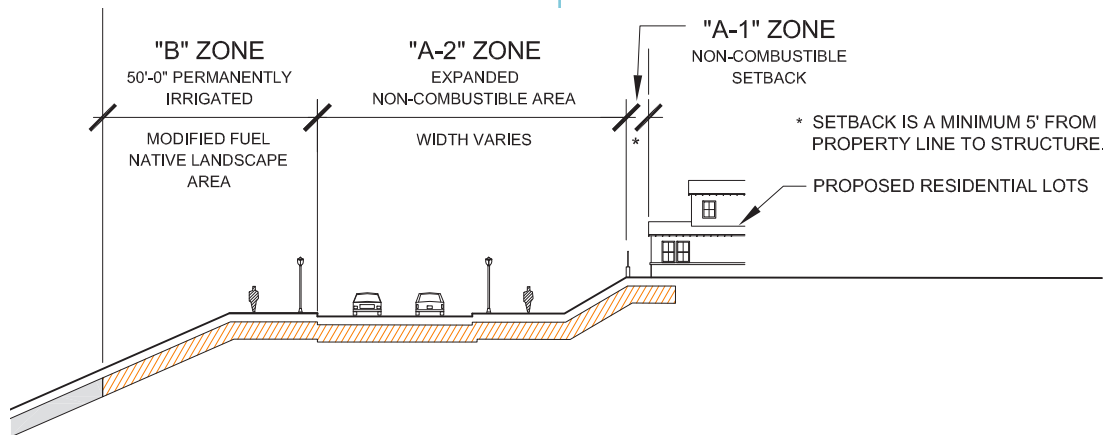


Exhibit 8-27
Fire Protection Zone Section

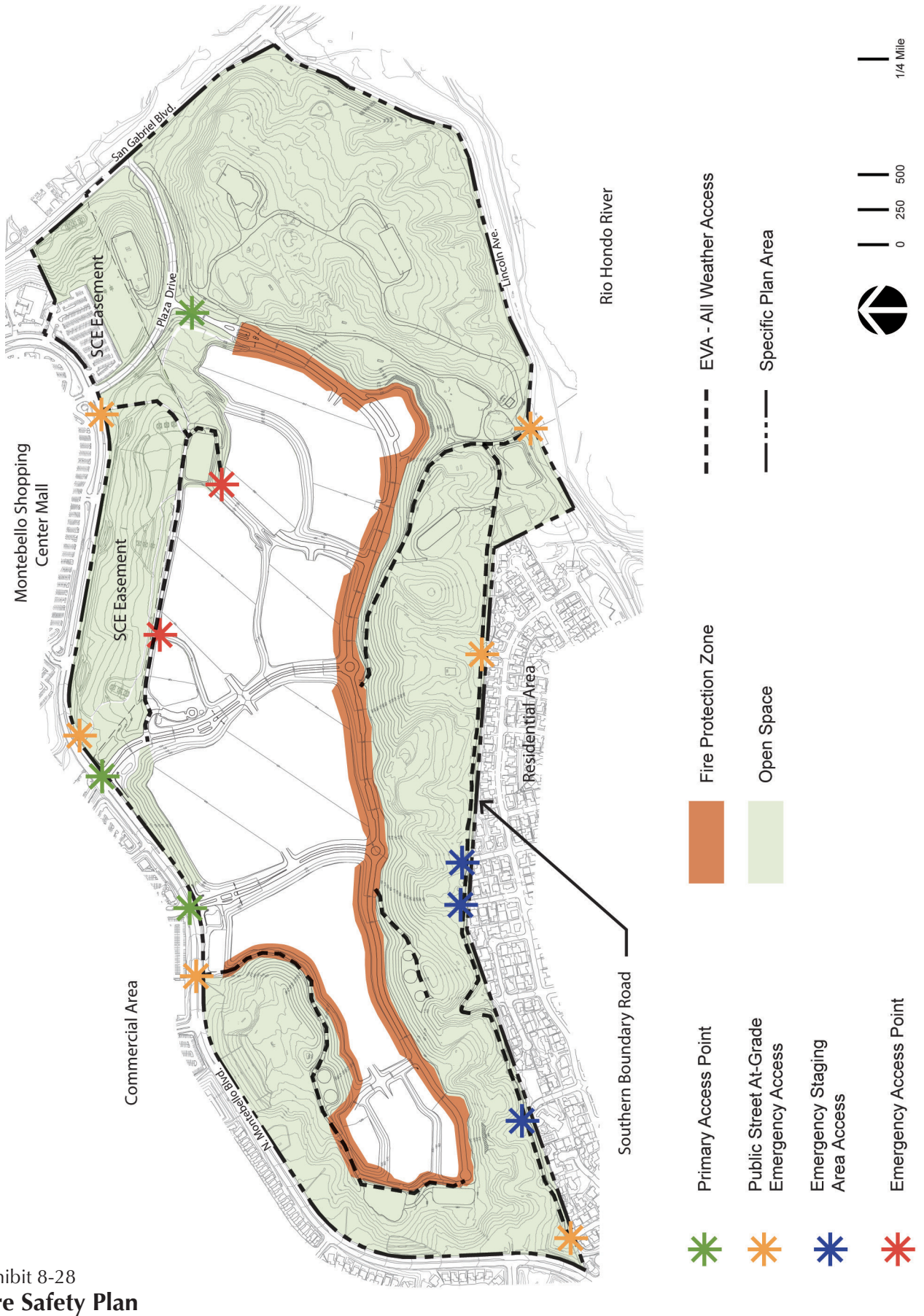


Exhibit 8-28
Fire Safety Plan

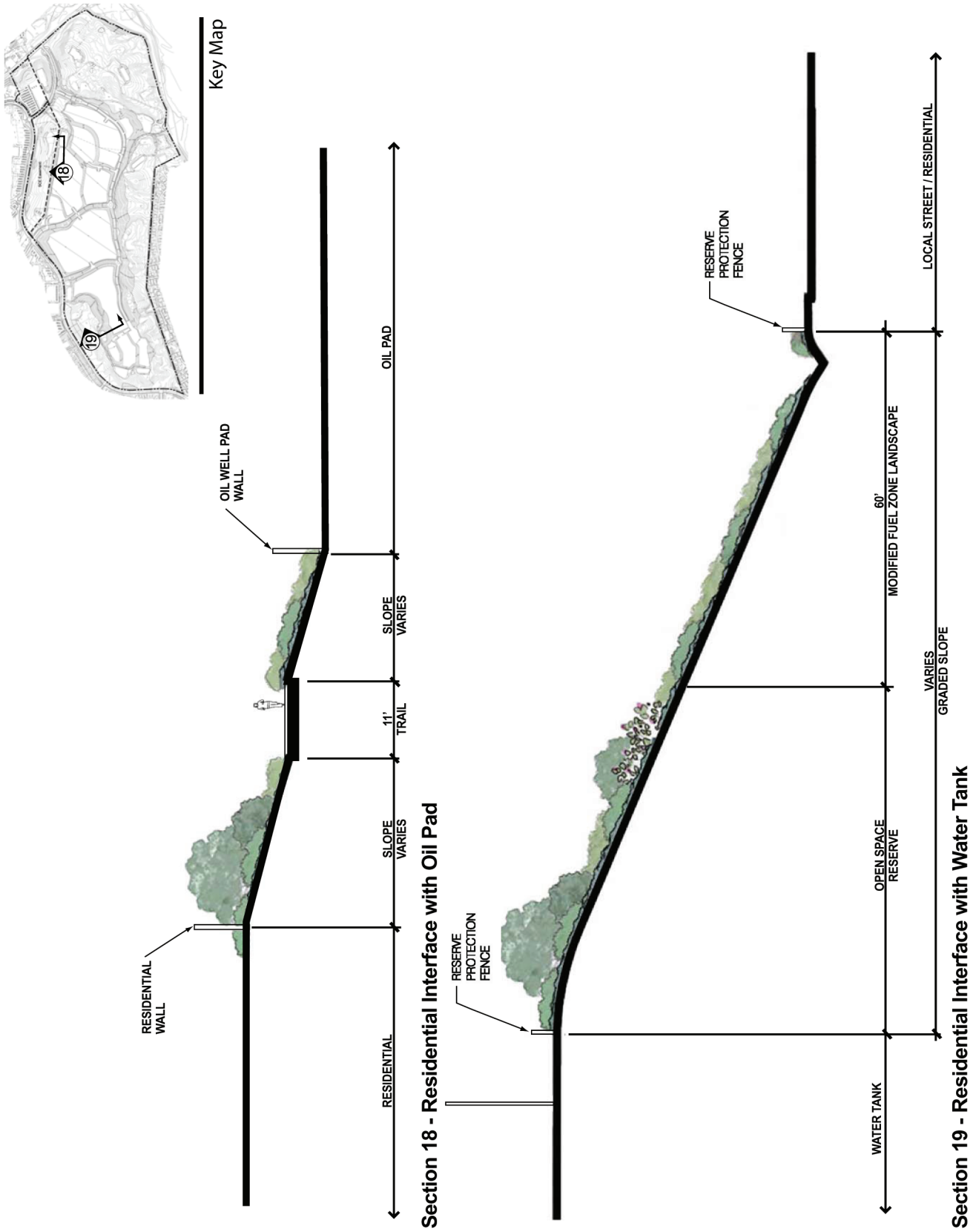


Exhibit 8-29
Landscape Interface Sections
 with Fire Protection Zones

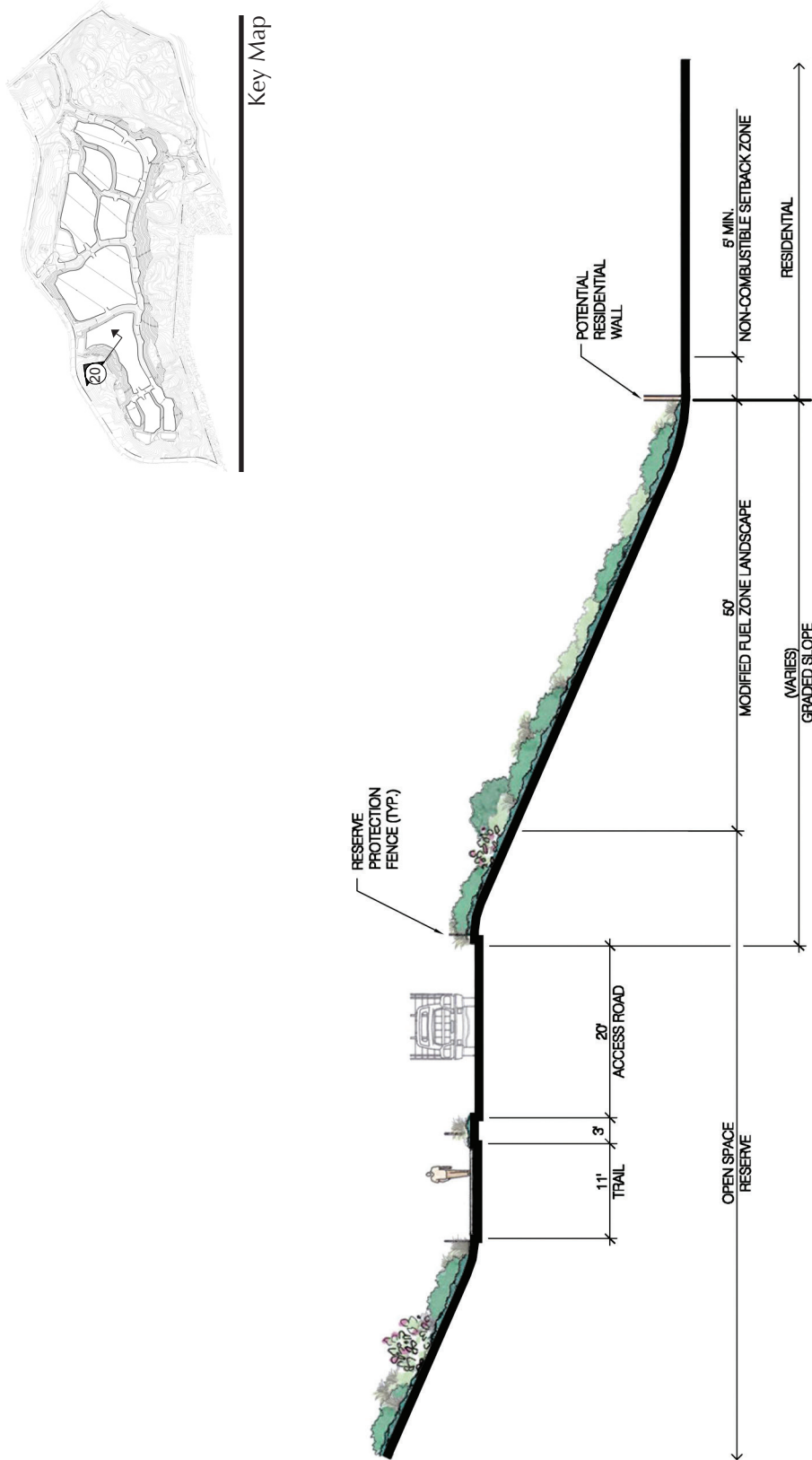


Exhibit 8-30
Landscape Interface Sections
 with Fire Protection Zones

1. Zone “A-1” non-combustible setback:

Zone “A-1” is characterized by a 5 foot wide minimum setback zone from the property line to the face of a combustible structure. The area defined as Zone “A-1” is generally level and clear of any combustible construction to provide a defensible space for fire suppression. A permanent irrigation system is required to maintain healthy vegetation with high moisture content. Plants in this zone shall be highly fire resistant and selected from the approved plant list as approved by the Montebello Fire Department. Zone “A-1” is required to be maintained at all times by either an individual Homeowner or in some cases by a Homeowners Association.

2. Zone “A-2” expanded non-combustible zone:

Zone “A-2” varies in width and placement based on the location within the project. This zone will not have any combustible structures or amenities. The area defined as Zone “A-2” generally encompasses roadways, sidewalks and landscape areas with permanent irrigation. The roadway and sidewalk provide a “fuel break” in the case of a fire, as well as unencumbered defensible space used for fire suppression. Plants within this zone will be selected based on their fire resistant nature, and landscape design will meet the requirements set forth by the Montebello Fire Department. A permanent irrigation system will be required to maintain healthy fire resistant plantings. The zone will be maintained at all times by the Homeowners Association.

3. Zone “B” Permanently Irrigated Modified Landscape Area:

Zone “B” is a 50 foot wide zone and consists of modified native landscape plantings that are permanently irrigated. The plant palette has been designed as a “modified” Coastal Sage Scrub to provide a transition between the project and the Coastal Sage Scrub growing within the Open Space. No high fire fuel plants will be planted within this zone. The zone will be continually maintained through the removal of any high fire fuel plants that may occur, and removal of dead or twiggy growth or excessively dense growing plants. The plantings will be permanently irrigated and the irrigation maintained in a well functioning manner to provide the optimum level of moisture to the zone. The plant palette, densities and layout will be approved by the Montebello Fire Department and project biologist. Maintenance will be provided by a Homeowners Association.

8.4 Landscape Design Standards

8.4.1 Community Walls and Fences

Community fences and walls are important design features which help unify the visual appearance and structure of the community. Placement of community walls and fences should be minimized, placed predominantly along single family detached product edges and carefully designed to complement the overall vision, which includes community walls at the entries and roundabouts. The walls should also be compatible with the architectural styles presented in this chapter. They should be designed to be easily maintained and provide a durable, long term edge enclosure defining “private” and “public” space. The wall and fencing master plan for Montebello Hills is illustrated on Exhibit 8-31, “Wall and Fence Plan.”

8.4.1.1 Residential Walls

Solid masonry walls will provide a rear and side yard enclosure adjacent to streetscapes and adjacent lots. In some locations a tubular view fence may be a more appropriate treatment and will be allowed on a case by case basis. The wall style used in Montebello Hills is a slump block masonry unit with a mortar washed finish



Residential Wall

matching the block and grout color. Pilasters are placed at wall terminus points, when walls change directions both horizontally and vertically. The residential wall is illustrated in the photograph below.

8.4.1.2 View Fence

Tubular fencing is used at residential slope interface conditions to allow maximum view retention. Tubular fencing may also be used where an attractive open enclosure is necessary adjacent to open spaces. Generally, tubular fencing connects to masonry pilasters at property intersections, significant changes of direction, or as needed to provide additional separation. An example of an acceptable tubular fence is illustrated in the photograph below.

8.4.1.3 Corner and Interior Side Yard Fencing and Gate Treatment

The residential wall, as described in Section 8.4.1.1 will be utilized at single family detached residential corner lot side yards which are adjacent to or are viewed from public and/or homeowner association property. All side yard return walls between single family detached residential dwelling units shall be constructed of the same wall material. A side yard gate will be provided on the garage side of the property.



Tubular View Fence

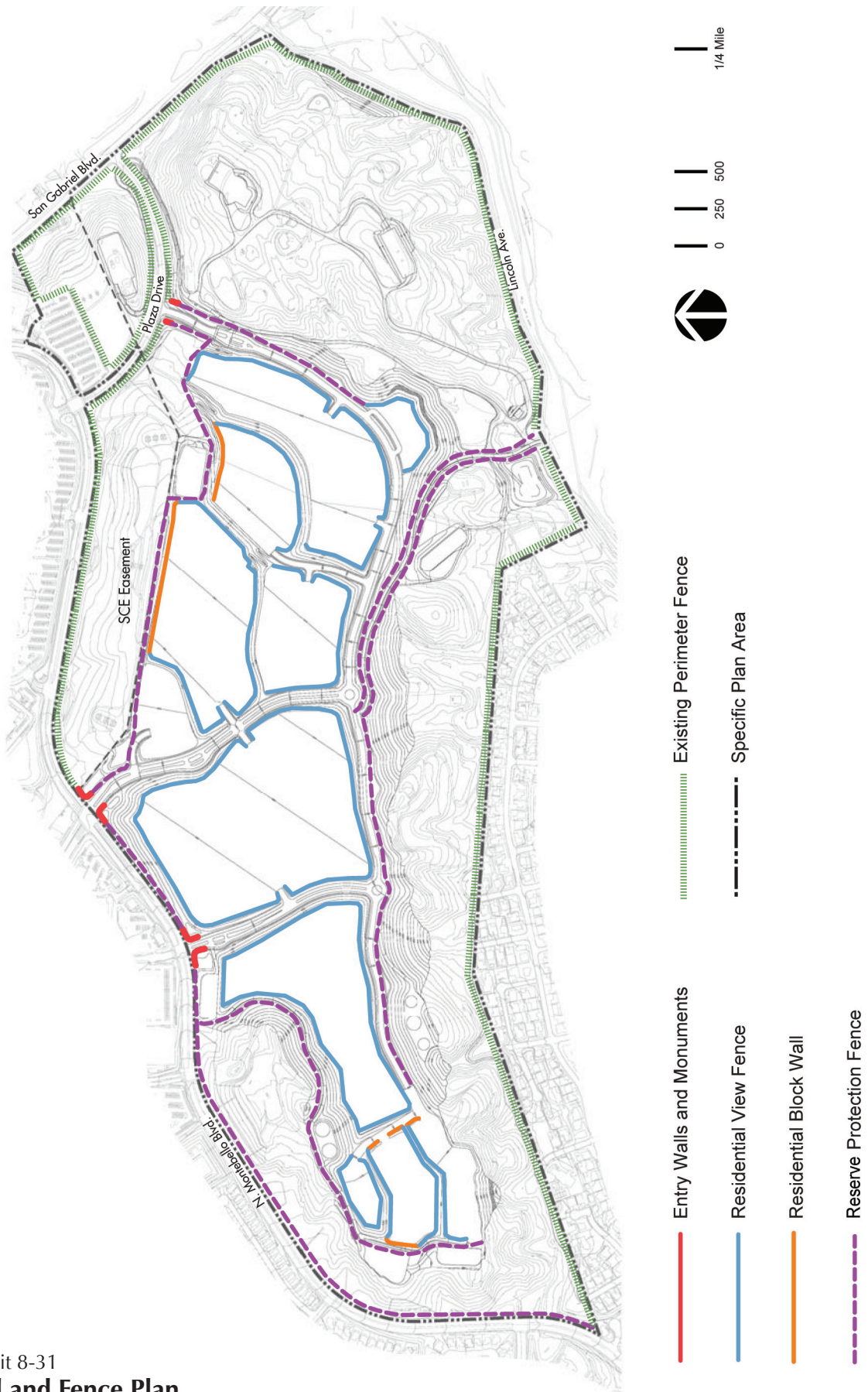


Exhibit 8-31
Wall and Fence Plan

Walls and/or fences, gates, and return walls shall be painted and/or finished in a manner consistent with the architectural style of the residence and the requirements of the Specific Plan. When a residential unit is constructed adjacent to a park, paseo, manufactured slope and/or open space location, the builder may provide view fencing where views are important. For all development adjacent to fuel modification locations, wall and fencing may be dictated by the City Fire Department.

8.3.1.4 Reserve Protection Fence

Installation of a 4 foot high, three or five wire fence is planned along all edges of the Reserve. This fence provides habitat protection located along trails, access roads, and neighborhood street edges next to the open space. The fence will allow for wildlife movement and is visually unobtrusive, as illustrated in the photos below. The five wire fence is very durable and will be located along street edges where more pedestrian activity will occur. The three wire fence can be used in lieu of the five wire fence in the interior of the open space area adjacent to less traveled paths. All posts shall use pressure treated 6 inch by 6 inch posts set in concrete. The wires shall be stainless or galvanized steel cable, tensioned and securely fastened at the ends.

8.4.1.5 Wall and Fence Materials and Colors

All fences and walls between private residential lots shall be designed and constructed as part of the overall architectural and site design of the residential area. All materials shall be durable and finished in textures and colors complementary to the overall architectural design.

1. Permitted Wall Materials: Stone veneer, stucco and plaster (including stucco and plaster covered block), masonry, brick, slump block, and tubular combination and trim are acceptable.

2. Prohibited Wall and Fence Materials: Barbed wire, electrically charged fences, plain exposed concrete block, glass, corrugated metal, chain link, and grape stake fencing are prohibited.



Five-Wire Fence



Three-Wire Fence

3. Color and Special Wall and Fence Treatments: Landscape walls such as low planter walls, patio walls, or retaining walls, shall be designed as an integral part of the building architecture and shall be complementary to adjacent architectural materials. Stone surfaces shall remain natural and unpainted. All other walls used for screening, such as, trash enclosures or privacy walls, shall adhere to the community standard residential wall as described in Section 8.4.1.1 of the Specific Plan. All walls shall be approved by the City.

8.4.1.7 Special Wall and Fence Regulations

1. Walls connecting two separate residential dwelling units shall be constructed to be complementary to both dwelling units.
2. Long walls should be broken-up with plants, alignment offsets, and material changes to relieve visual monotony. When possible, a three foot minimum space should be left between paved areas and walls and fences to allow for planting of vines and espaliers.



8.4.2 Landscape Maintenance Responsibility

Slopes and streetscapes within rights-of-ways and common areas, including fuel modification zones, private parks, entries, greenbelts and other community common open space areas will be maintained by either a Homeowners Association or by a Landscape and Lighting Maintenance District established for the community.

The open space area, including the Reserve, will be maintained in perpetuity by either a conservation organization or a private non-profit entity. Maintenance will include, but not be limited to, irrigation of new planted areas, removal of non-native plant species, erosion control and monitoring, and removal of excessive dead plant material. The maintenance of this area will decrease in frequency as the native vegetation becomes more established.

Individual homeowners shall be responsible for the maintenance of private landscape areas of their property unless otherwise specified within CC&R's. Individual homeowners shall also be responsible for all maintenance of fence and wall surfaces facing the interior of their property. Maintenance responsibilities are illustrated on Exhibit 8-32, "Landscape Maintenance Responsibility Plan."





Exhibit 8-32
Landscape Maintenance Responsibility Plan

8.4.3 Outdoor Lighting

All streets within Montebello Hills shall have uniform lighting standards with regard to style, materials, and colors in order to ensure consistent design. Each residential development may have lighting standards specific to the development, provided that the selected lighting fixture style is complementary to the community wide system, and architectural style and is used consistently throughout the project. Lighting fixtures shall be well integrated into the visual environment and the appropriate architectural theme. Street lights along all community streets shall be a Southern California Edison approved fixture. Exhibit 8-33, "Public Lighting," illustrates the typical public lighting fixtures for Montebello Hills. Lighting fixtures within Montebello Hills shall comply with the lighting regulations and standards provided in Section 6, "Development Regulations," of the Specific Plan.

8.4.4 Irrigation and Water Conservation

All common, community landscaped areas shall be watered with a permanent underground irrigation system, except for slopes which may have a permanent above-ground irrigation system. The restored coastal sage scrub within the Reserve shall be established with temporary irrigation. Modified fuel landscape areas shall be watered with a permanent irrigation system consistent with Section 8.3.8.5, "Fire Protection Plan," of the Specific Plan. Irrigation systems which join separate maintenance responsibility areas shall be designed in a manner to ensure complete water coverage between the areas.

Proper consideration of irrigation system design and installation in the climate of the Montebello Hills area is critical to the success of the landscape investment. In particular, the combined

summer elements of heat and wind must be carefully considered in proper irrigation design and equipment selection.

Overhead spray irrigation systems shall be designed with 100 percent head to head coverage. Native and drought tolerant shrub areas should be irrigated with a combination of spray and bubbler irrigation. All irrigation heads adjacent to walks, drives and curbs, including car overhangs, shall be of the pop-up type. Irrigation backflow prevention devices and controllers shall be located for easy maintenance access yet with minimum public visibility, or shall be screened with plants.

Water Conservation Measures:

- Bubbler irrigation shall be used on all trees and large shrubs.
- Moisture and rain sensors shall be incorporated into the irrigation control system. A central irrigation control system is strongly recommended.
- Irrigation systems shall be designed per AB 325 guidelines, as amended from year to year.



Path /Bollard Light



Street Electrolier

Exhibit 8-33
Public Lighting

8.5 Plant Palette

The intent of these guidelines is to provide a simple plant palette which complements and enhances the thematic setting for the community. This plant palette has been selected for appropriateness to climatic conditions, soil conditions, and concern for maintenance and water conservation.

Plant selection for given project areas shall have similar cultural requirements so irrigation can be designed to minimize water use and plant material can thrive under optimal conditions.

BOTANICAL NAME	COMMON NAME
8.5.1 Collector Streets and Adjacent Slopes	
TREES	
Agonis flexulosa	Peppermint Tree
Eucalyptus lehmannii	Bushy Yate
Geijera parviflora	Australian Willow
Lagerstroemia indica	Crape Myrtle
Lyonothamnus floribundus ssp. asplenifolius	Catalina Ironwood
Olea europea 'Fruitless'	Fruitless Olive
Pinus eldarica	Mondale Pine
Pinus halepensis	Aleppo Pine
Platanus racemosa	California Sycamore
Quercus agrifolia	Coast Live Oak
Quercus suber	Cork Oak
Quercus virginiana	Southern Live oak
Rhus lancea	African sumac
Schinus molle	Pepper Tree
Tristania conferta	Brisbane Box
SHRUBS AND ORNAMENTAL GRASSES	
Agave spp.	Agave
Arctostaphylos 'Howard Mc Minn'	Manzanita
Baccharis spp.	Coyote Brush
Bougainvillea spp.	Bougainvillea
Ceanothus spp.	California Lilac
Cercocarpus spp.	Mountain Mahogany
Cistus spp.	Rockrose
Coprosma kirkii	Coprosma
Cotoneaster species	Cotoneaster
Echium candicans	Pride of Madeira
Escallonia fradesii	Pink escallonia
Festuca spp.	Fescue
Fremontodendron 'Ken Taylor'	Flannelbush
Gaura lindheimeri	Gaura
Grevillea victoriae	Royal Grevillea

BOTANICAL NAME	COMMON NAME
<i>Grewia caffra</i>	Lavender starflower
<i>Hemerocallis</i> species	Daylily
<i>Heteromeles arbutifolia</i>	Toyon
<i>Isocoma menziesii</i>	Coastal Bush
<i>Lavandula</i> spp.	Lavender
<i>Lavatera assurgentiflora</i>	Tree Mallow
<i>Leymus</i> spp.	Creeping Wildrye
<i>Lobelia laxifolia</i>	Torch Lobelia
<i>Lupinus</i> spp.	Lupine
<i>Malosma laurina</i>	Laurel Sumac
<i>Miscanthus</i> spp.	Maidengrass
<i>Muhlenbergia rigens</i>	Deergrass
<i>Nassella tenuissima</i>	Mexican Feather Grass
<i>Opuntia littoralis</i>	Coastal Prickly Pear
<i>Phlomis lanata</i>	Jerusalem Sage
<i>Raphiolepis</i> spp.	Indian Hawthorn
<i>Rhamnus</i> spp.	Coffeeberry
<i>Rhus integrifolia</i>	Lemonade Berry
<i>Romneya coulteri</i>	Matilija Poppy
<i>Rosmarinus</i> spp.	Rosemary
<i>Salvia</i> spp.	Sage
<i>Westringia fruticosa</i>	Coast Rosemary
VINES	
<i>Distictis buccinatoria</i>	Blood red trumpet vine
<i>Grewia caffra</i>	Lavendar star flower vine
GROUNDCOVERS	
<i>Acacia redolens</i> 'Desert Carpet'	Dwarf trailing acacia
<i>Baccharis pilularis</i>	Coyote Bush
<i>Ceanothus griseus horizontalis</i>	Carmel Creeper
<i>Coprosma kirkii</i>	Coprosma
<i>Cotoneaster dammeri</i>	Bearberry Cotoneaster
<i>Rosmarinus prostratus</i>	Prostrate Rosemary

BOTANICAL NAME	COMMON NAME
8.5.1.1 Street “B” Promenade	
TREES	
<i>Lyonothamnus floribundus</i> ssp. <i>asplenifolius</i>	Catalina Ironwood
<i>Quercus agrifolia</i>	Coast live Oak
<i>Quercus durata</i>	Leather oak
<i>Quercus suber</i>	Cork Oak
SHRUBS AND ORNAMENTAL GRASSES	
<i>Achillea millefolium</i>	Yarrow
<i>Agave americana</i>	Century Plant
<i>Agave attenuata</i>	Swan’s Neck Agave
<i>Arctostaphylos</i> ‘Howard Mc Minn’	Manzanita
<i>Asclepia curassavica</i>	Mexican Butterfly Weed
<i>Baccharis pilularis</i>	Coyote Bush
<i>Ceanothus</i> spp.	California Lilac
<i>Cercocarpus</i> spp.	Mountain Mahogany
<i>Cistus</i> spp.	Rockrose
<i>Eschscholzia californica</i>	California Poppy
<i>Festuca</i> spp.	Fescue
<i>Fremontodendron californicum</i>	Flannelbush
<i>Gaura lindheimeri</i>	Gaura
<i>Heteromeles arbutifolia</i>	Toyon
<i>Larrea tridentata</i>	Creosote Bush
<i>Malosma laurina</i>	Laurel Sumac
<i>Mimulus aurantiacus</i>	Orange Bush Monkey Flower
<i>Miscanthus</i> spp.	Maidengrass
<i>Muhlenbergia rigens</i>	Deer Grass
<i>Nassella tenuissima</i>	Mexican Feather Grass
<i>Opuntia littoralis</i>	Coastal Prickly Pear
<i>Phlomis lanata</i>	Jerusalem Sage
<i>Prunus ilicifolia</i>	Hollyleaf Cherry
<i>Rhamnus</i> spp.	Coffebery
<i>Rhus integrifolia</i>	Lemonade Berry

BOTANICAL NAME	COMMON NAME
Rhus ovata	Sugar Bush
Romneya coulteri	Matilija Poppy
Rosmarinus prostratus	Prostrate Rosemary
Salvia clevelandii	Cleveland Sage
GROUNDCOVERS	
Baccharis pilularis	Coyote Bush
Ceanothus griseus horizontalis	Carmel Creeper
Coprosma kirkii	Coprosma
Cotoneaster dammeri	Bearberry Cotoneaster
Rosmarinus prostratus	Prostrate Rosemary
TURF	
100% Dwarf tall fescue blend - 10 lbs. per 1,000 s.f.	

BOTANICAL NAME	COMMON NAME
8.5.2 Parks and Recreation Centers	
TREES	
Arbutus 'Marina'	Strawberry tree
Eriobotrya deflexa	Bronze loquat
Erythrina spp.	Coral Tree
Eucalyptus lehmannii	Bushy Yate
Geijera parviflora	Australian Willow
Jacaranda mimosifolia	Jacaranda
Lagerstroemia spp.	Crape Myrtle
Liquidambar styraciflua	Liquidambar
Magnolia grandiflora	Southern Magnolia
Melaleuca nesophila	Pink melaleuca
Metrosideros excelsus	New Zealand Christmas Tree
Olea europea 'Fruitless'	Fruitless Olive
Pinus canariensis	Canary Island Pine
Pistacia chinensis	Chinese pistache
Platanus acerifolia	London plane tree
Quercus agrifolia	Coast Live Oak
Quercus ilex	Holly Oak
Quercus suber	Cork Oak
Rhus lancea	African sumac
Tipuana tipu	Tipu Tree
Tristania conferta	Brisbane Box
Tristania laurina	Water Gum

BOTANICAL NAME	COMMON NAME
SHRUBS	
Acacia redolens 'Desert Carpet'	Prostrate Acacia
Acrtostaphylos 'Pacific Mist'	Pacific Mist Manzanita
Agave spp.	Agave
Bougainvillea spp.	Bougainvillea
Cistus spp.	Rockrose
Coprosma kirkii	Coprosma
Dietes bicolor	Fortnight Lily
Elaeagnus pungens 'Variegata'	Silverberry
Escallonia fradesii	Pink escallonia
Festuca spp.	Fescue
Galvezia speciosa	Island Bush Snapdragon
Grewia caffra	Lavender starflower
Hemerocallis species	Daylily
Ilex spp.	Holly
Lavandula spp.	Lavender
Lavatera assurgentiflora	Tree Mallow
Ligustrum spp.	Privet
Miscanthus transmorrisonensis	Evergreen Miscanthus
Muhlenbergia rigens	Deergrass
Nassella tenuissima	Mexican Feather Grass
Phormium tenax 'dwarf'	Dwarf New Zealand flax
Pittosporum spp.	Pittosporum
Penstemon spp. (native)	Penstemon
Psidium littorale	Strawberry guava
Raphiolepis spp.	Indian Hawthorn
Rhamnus spp.	Coffeeberry
Rosmarinus spp.	Rosemary
Salvia spp.	Sage
Westringia fruticosa	Coast Rosemary



SECTION 8. DESIGN GUIDELINES

BOTANICAL NAME	COMMON NAME
VINES	
Distictis buccinatoria	Blood red trumpet vine
Gelsemium sempervirens	Carolina jasmine
Grewia caffra	Lavendar star flower vine
Wisteria floribunda	Wisteria
GROUNDCOVERS	
Acacia redolens 'Desert Carpet'	Dwarf trailing acacia
Arctostaphylos 'John Dourley'	John Dourley manzanita
Baccharis pilularis	Coyote Bush
Ceanothus griseus horizontalis	Carmel Creeper
Coprosma kirkii	Coprosma
Cotoneaster dammeri	Bearberry Cotoneaster
Rosmarinus prostratus	Prostrate Rosemary
Trachelospermum asiaticum	Asiatic Jasmine
TURF	
100% Dwarf tall fescue blend - 10 lbs. per 1,000 s.f.	

BOTANICAL NAME	COMMON NAME
8.5.3 Coastal Sage Scrub Mitigation on Manufactured Slopes and Coastal Sage Scrub Habitat Restoration Within Open Space	
Shrubs and Grass Species	
<i>Artemisia californica</i>	California Sagebrush
<i>Asclepias fascicularis</i>	Narrow-leaved Milkweed
<i>Baccharis pilularis</i>	Coyote Brush
<i>Baccharis salicifolia</i>	Mulefat
<i>Dichlostemma capitatum</i>	Blue Dicks
<i>Encelia californica</i>	California Sunflower
<i>Eriogonum fasciculatum</i>	California Buckwheat
<i>Eriophyllum confertiflorum</i>	Golden Yarrow
<i>Gnaphalium bicolor</i>	Bicolored Cudweed
<i>Gnaphalium californicum</i>	California Everlasting
<i>Hemizonia fasciculata</i>	Tarweed
<i>Isocoma menziesii</i>	Coastal Goldenbush
<i>Isomeris arborea</i>	Bladderpod
<i>Layia platyglossa</i>	Tidy Tips
<i>Leymus condensatus</i>	Giant Wild Rye
<i>Lotus scoparius</i>	Deerweed
<i>Lupinus bicolor</i>	Small-leaf Lupine
<i>Malosma laurina</i>	Laurel Sumac
<i>Mimulus aurantiacus</i>	Orange Bush Monkey Flower
<i>Mirabilis laevis</i>	Wishbone Plant
<i>Nassella pulchra</i>	Purple Needlegrass
<i>Opuntia littoralis</i>	Coast Prickly Pear
<i>Rhus integrifolia</i>	Lemonade Berry
<i>Salvia mellifera</i>	Black Sage

BOTANICAL NAME	COMMON NAME
8.5.4 Fire Safety Zones	
TREES	
Quercus spp.	Scrub Oak
SHRUBS	
Baccharis pilularis	Coyote Brush
Bromus carinatus	California Brome
Dichlosetemma capitatum	Blue Dicks
Encelia californica	California Sunflower
Eschscholzia californica	California Poppy
Heteromeles arbutifolia	Toyon
Isomeris arborea	Bladderpod
Leymus triticoides	Creeping Wild Rye
Lotus scoparius	Deerweed
Lupinus bicolor	Small-leaf Lupine
Malosma laurina	Laurel Sumac
Mimulus aurantiacus	Orange Bush Monkey Flower
Muhlenbergia rigens	Deer Grass
Nassella lepida	Foothill Needlegrass
Nassella pulchra	Purple Needlegrass
Opuntia littoralis	Coast Prickly Pear
Penstemon heterophyllus	Foothill Penstemon
Plantago ovata	Plantain
Rhamnus crocea	Redberry
Rhus integrifolia	Lemonade Berry
Rhus ovata	Sugar Bush
Ribes speciosum	Fuschia Flowering Gooseberry
Sisyrinchium bellum	Blue-eyed Grass
Vulpia microstachys	Small Fescue

BOTANICAL NAME	COMMON NAME
8.5.5 General Community Plant Palette (Internal Neighborhoods)	
TREES	
Aesculus californica	California Buckeye
Agonis flexulosa	Peppermint Tree
Alnus rhombifolia	White Alder
Arbutus 'Marina'	Strawberry tree
Brachychiton populneus	Bottle tree
Eriobotrya deflexa	Bronze loquat
Erythrina spp.	Coral Tree
Eucalyptus nicholii	Nichols Willow-Leaved Peppermint
Eucalyptus sideroxylon	Red Ironbark
Geijera parviflora	Australian Willow
Gleditsia tricanthos	Honey locust
Jacaranda mimosifolia	Jacaranda
Juglans californica	California Walnut
Lagerstroemia spp.	Crape Myrtle
Liquidambar styraciflua	Liquidambar
Lyonothamnus floribundus	Catalina Ironwood
Magnolia grandiflora	Southern Magnolia
Melaleuca linarifolia	Flaxleaf Paper Bark
Melaleuca nesophila	Pink melaleuca
Olea europea 'Fruitless'	Fruitless Olive
Pinus eldarica	Afghan Pine
Pistacia chinensis	Chinese pistache
Platanus acerifolia	London plane tree
Platanus racemosa	California Sycamore
Podocarpus gracilior	Fern Pine
Prunus cerasifera	Purple leaf Plum
Punica granatum	Pomegranite
Pyrus spp.	Ornamental Pear
Quercus agrifolia	Coast Live Oak
Quercus ilex	Holly Oak
Quercus suber	Cork Oak
Quercus virginiana	Southern Live Oak

BOTANICAL NAME	COMMON NAME
Rhus lancea	African sumac
Tipuana tipu	Tipu Tree
Tristania conferta	Brisbane Box
Tristania laurina	Water Gum
SHRUBS	
Arctostaphylos 'Pacific Mist'	Pacific Mist Manzanita
Agave spp.	Agave
Aloe spp.	Aloe
Arctostaphylos 'Howard Mc Minn'	Manzanita
Baccharis spp.	Coyote Brush
Bougainvillea spp.	Bougainvillea
Ceanothus spp.	California Lilac
Cistus spp.	Rockrose
Coprosma kirkii	Coprosma
Cotoneaster species	Cotoneaster
Elaeagnus pungens 'Variegata'	Silverberry
Escallonia fradesii	Pink escallonia
Festuca spp.	Fescue
Fremontodendron 'Ken Taylor'	Flannelbush
Grevillea victoriae	Royal Grevillea
Grewia caffra	Lavender starflower
Hemerocallis species	Daylily
Heteromeles arbutifolia	Toyon
Ilex spp.	Holly
Lavandula spp.	Lavender
Lavatera assurgentiflora	Tree Mallow
Leymus spp.	Creeping Wildrye
Ligustrum spp.	Privet
Malosma laurina	Laurel Sumac
Muhlenbergia rigens	Deer Grass
Nassella spp.	Needle Grass

BOTANICAL NAME	COMMON NAME
Ornamental grasses	(Non-Invasive Varieties Only)
Osmanthus fragrans	Sweet olive
Phormium tenax 'dwarf'	Dwarf New Zealand flax
Pittosporum spp.	Pittosporum
Plumbago auriculata	Cape plumbago
Penstemon spp. (native)	Penstemon
Prunus lyonii	Catalina Cherry
Psidium littorale	Strawberry guava
Pyracantha species	Firethorn
Rhapiolepis indica	Indian Hawthorn
Rhamnus spp.	Coffeeberry
Ribes spp.	Gooseberry
Rosa californica	California wildrose
Romneya coulterii	Matilija Poppy
Rosmarinus spp.	Rosemary
Salvia spp.	Sage
Strelizia spp.	Bird of Paradise
Westringia fruticosa	Coast Rosemary
VINES	
Distictis buccinatoria	Blood red trumpet vine
Gelsemium sempervirens	Carolina jasmine
Grewia caffra	Lavendar star flower vine
Mac Fadyena unguis-cati	Cat's claw vine
Wisteria floribunda	Wisteria
GROUNDCOVERS	
Acacia redolens 'Desert Carpet'	Dwarf trailing acacia
Arctostaphylos 'John Dourley'	John Dourley manzanita
Ceanothus griseus hor. 'Yankee	California lilac
Coprosma kirkii	Coprosma point'
Rosmarinus prostratus	Prostrate Rosemary
Trachelospermum asiaticum	Asiatic Jasmine



BOTANICAL NAME	COMMON NAME
8.5.6 Water Quality Basins and Swales	
TREES	
Platanus racemosa	California Sycamore
Quercus agrifolia	Coast Live Oak
SHRUBS, GRASSES, AND GROUNDCOVER	
Anemopsis californica	Yerba Mansa
Eleocharis spp.	Spikerush
Eschscholzia californica	California Poppy
Festuca spp. (native)	Fescue
Juncus mexicanus	Mexican Rush
Leymus triticoides	Creeping Wild Rye
Mimulus guttatus	Golden Monkey Flower
Muhlenbergia rigens	Deer Grass
Scripus californica	California Bullrush

8.6 Architectural Design Guidelines

The early development and subsequent history of Montebello has a rich legacy of farming, which was later replaced by oil production and urban commerce. Typical of early Southern California communities, Montebello boasts a variety of historical architectural styles. Architectural styles inherent in the early farm houses and rural residential neighborhoods evolved as they were incorporated into the development of cities and towns in Southern California.

Southern California, including Montebello and the surrounding area, was also influenced by Spanish architectural styles brought to the region by Spanish settlers and missionaries. Regional styles evolved from these historic vernaculars. Architectural styles, elements and massing were reinvented utilizing available local building materials. Plan designs and elements such as window sizes and proportions were modified to address local climatic conditions, which were warmer and drier, resulting in home designs well suited for the temperate climate of Southern California.

The rapid urbanization of coastal areas in Southern California has resulted in other emerging architectural influences often described as transitional styles. These styles may involve interpretation of historical architectural styles as well as modern architectural movements occurring within the last century. The use of a variety of materials is dominant throughout these styles, such as plaster, stucco and siding with brick, stone or other masonry accent materials. The sunny Southern California climate allows year round use of outdoor spaces and has inspired the use of covered porches and balconies. Areas such as Santa Barbara, Pasadena, San Marino, San Diego's Balboa Park, Bel Air, Pacific Palisades, and the hillside communities

along Mulholland Drive in Los Angeles provide inspiration for the architectural character and quality of Montebello Hills.

The architectural vision for Montebello Hills is based upon the architectural influences found in Montebello and evident throughout Southern California. The architectural styles selected for Montebello Hills have been selected in order to be reflective of historic Southern California neighborhoods. Each architectural style selected for development, should incorporate elements that represent the character of that particular style as outlined in these design guidelines.

When used together the styles should be designed to create a neighborhood character that will be sustainable over time. Each home should contribute to the architectural character of the neighborhood. Design elements such as porches, recessed windows, architectural details and accents, alternate garage configurations and orientations, covered balconies, and articulated elevations are encouraged to enhance individual homes and to promote the overall neighborhood character.

8.6.1 Architectural Design Objectives

- Interpret authentic architectural styles reflecting the historic character of the region.
- Emphasize compatible styles of architecture that are also varied enough to create interest and diversity.
- Create visual interest in neighborhood streets by varying elevations and floor plan plotting.
- Utilize authentic materials and colors that reinforce the overall design theme.
- Emphasize front elevations that relate strongly to the street and contribute to the livability of that realm.
- Provide alternative garage configurations.

The Montebello Hills Design Guidelines are to be used as a tool to ensure the character and design quality anticipated for the community. The design guidelines express objectives and approaches rather than formulas and standards, allowing certain architectural creativity and flexibility. The images and sketches illustrated in the design guidelines are intended to be conceptual in nature and are to be used as general visual aids in understanding the basic architectural design intent of Montebello Hills. They are not meant to depict specific floor plans or architectural elevations.

These design guidelines are organized into the following sections:

- Design Guidelines for Architectural Character
- Architectural Influences and Appropriate Styles
- Massing Principles
- Garage Placement, Accessory Structures, Roof Form/Pitch, Balconies and Projections, Building Offset/Variable Setbacks
- Materials and Detailing

8.6.2 Design Guidelines for Architectural Character

Architectural design should provide for high quality neighborhoods.

- Residential project design should consider the total context of the site with the incorporation of appropriate scale and proportions of building massing and details.
- Use of transitional spaces between common and private areas such as entry courtyards, private patios, low walls and porches is encouraged.
- Variation of both front and rear building elevations should be implemented to create visual variety.

- Variation of garage placement in single family neighborhoods is encouraged to provide a more diverse street scene.
- Neighborhoods of attached buildings should emphasize design solutions that reduce or eliminate individual garages and driveways accessing neighborhood streets.
- Residential structures should be varied in massing and articulation to provide visual interest.

8.6.2.1 Neighborhoods Should be Sustainable over Time

- Architectural design themes should reflect historic Southern California styles.
- Use of natural indigenous building materials and colors is encouraged.
- Structures should incorporate architectural details and decorative features that are indicative of the historical style.
- Architectural design should relate to human scale.
- Location of doors and windows should consider indoor and outdoor relationships to create intimate and secure spaces.
- Architectural designs should create a cohesive community without dominating the overall street scene.

8.6.2.2 Building Design Should be Sensitive to Climatic Conditions and Context

- Building elevations should consider sun orientation by including shaded and sheltered areas.
- Residential structures should be compatible with, and responsive to, the environmental setting.
- Building designs should incorporate spaces that encourage outdoor use to take advantage of temperate climatic conditions.

8.6.2.3 Architectural Design Should Incorporate Materials and Techniques that are Cost Effective

- Use of building materials should implement efficient construction methods.
- Building elevations should include compatible window and door sizes that create a consistent design theme.
- Construction techniques should incorporate the use of standard components and dimensions.

8.6.2.4 Diversity is a Guiding Principle at Montebello Hills Ensuring that Neighborhoods are varied and that Blanket Uniformity is Avoided

- Detached single family home builders are required to produce a minimum of two elevation styles for a 3-plan design program, and three styles for a 4-plan or more design program.
- Detached single family homes configured in a cluster or courtyard program are required to be comprised of elevation styles from within the same design influence to ensure compatibility among closely plotted homes.
- Attached single family residential and multi-family residential projects are required to be comprised of at least two elevation styles for neighborhoods up to 50 units and one additional elevation style for every additional 50 units.



8.6.3 Architectural Styles

The architectural character within each neighborhood shall consist of complementary traditional architectural styles. The materials and colors of home styles shall complement the overall neighborhood design.

Acceptable architectural styles within Montebello Hills include:

- Mission
- Monterey
- Spanish Colonial
- Craftsman
- Farm House
- Ranch

The styles selected share similar design attributes and have been selected in response to the following considerations:

- They are compatible and complementary.
- They can be interpreted in a variety of ways.
- They are generally accepted by the market.
- They can be constructed using current building materials and methods.



8.6.3.1 Mission

History and Character:

Mission architectural style is indigenous to early Baja and Alta California, born from the early church buildings and forts. This simple architectural style inspired home designs from the late 1800's, and over time, this style has been blended with Spanish Colonial and Monterey influences. Buildings oriented rooms around outdoor courtyards and were characterized by simple rectangular forms and shallow to medium pitched roofs.

Massing:

- Simple one and two story massing with both symmetrical and asymmetrical forms.

General Materials:

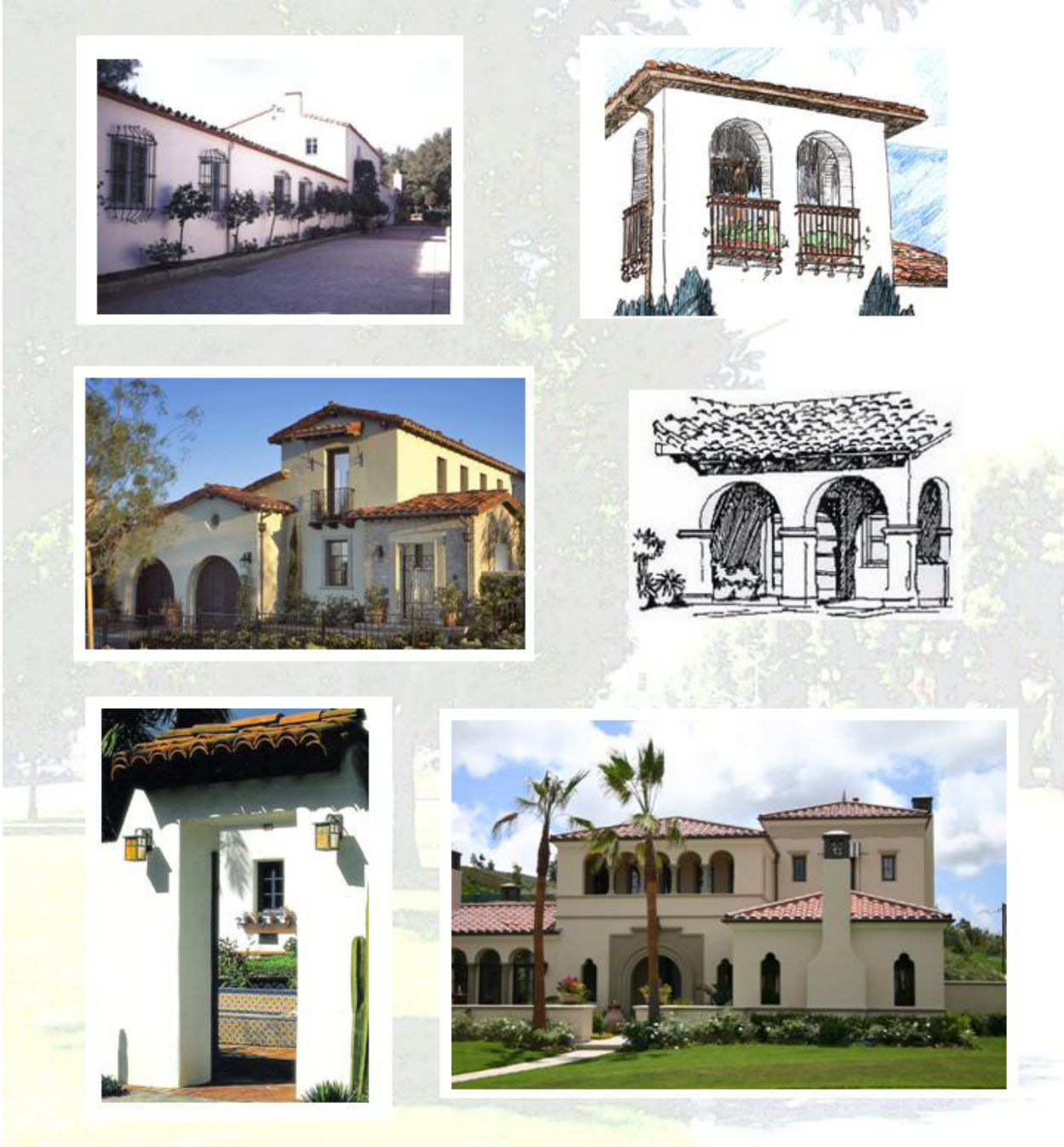
- Stucco finished walls.
- Recessed openings.
- Arched windows.
- Simple detailing.
- Simple stucco chimneys.
- Carriage garage doors or roll-up doors with patterns to reflect architectural style.

Roof Materials and Forms:

- Shallow pitched roofs.
- Hip and gable roof forms with domes and/or parapet elements.
- Parapet accent roofs and balcony forms.
- Shaped wall or dormers.
- Simple roof planes.
- Extended, open roof overhangs.
- Mission or "S" concrete tile to simulate clay materials.

Detail Elements:

- Decorative shaped walls and caps.
- Solid stucco balcony railings.
- Recessed windows and openings.
- Multi-paned windows.
- Large, square columns.



Mission

8.6.3.2 Monterey

History and Character:

The Monterey style is a combination of Spanish construction methods and the basic two-story American Colonial house. The wooden second story enabled single story Spanish Adobe homes to be developed as two story homes. Cantilevered balcony elements defined the front of the house which originally used adobe wall construction. Exposed rafters, gable or hipped roof, simple wood posts and side chimneys that anchor one end of the house accompany the balcony as Monterey design elements.

Massing:

- Simple, straightforward rectangular or “L” shaped building forms.
- Cantilevered balcony and covered colonnades.

General Materials:

- Stucco on first level.
- Siding on second level.
- Use of brick or stone on first level.
- Shutter accents.
- Wood or stucco trim.
- Brick and siding used to accent stucco forms.

Roof Materials and Forms:

- Flat concrete tile.
- Simple forms with low pitch.
- Gable forms are predominant. (Long gable roof)
- Tight rake ends.
- Extended eaves with exposed rafter tails.

Detail Elements:

- Wood balcony railing.
- Recessed windows, single hung.
- Wood corbels.
- Accent shutters.
- Cantilevered second floor porch.



Monterey

8.6.3.3 Spanish Colonial

History and Character:

Spanish Colonial homes are an adaptation of the Mission Revival style, reflecting features such as strong form and mass, plain wall surfaces and tile roofs. The Spanish Colonial style is often characterized by a semi-formal plan arrangement such as a courtyard design.

Massing:

- Simple massing and forms and varied roof forms.
- General Materials:
 - Stucco finished walls.
 - Wood or stucco columns.
 - Decorative stucco chimneys.
 - Round arches.

Decorative columns and trim.

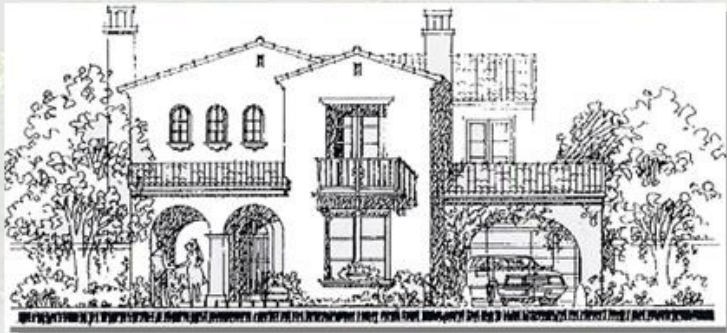
- Ornate wrought iron railing and accents.
- Wood shutter accents.
- Thick walls.
- Deep recessed openings.
- Stucco or tile details at gable ends.

Roof Materials and Forms:

- Low-pitched roofs with minimal overhang.
- Tight rake ends.
- Extended eaves with exposed rafter tails.
- Gables and hip roofs.
- Shallow sloped, concrete 'S' tile roofs.

Detail Elements:

- S-Tile roof.
- Arched window and door openings.
- Recessed windows.
- Ornamental wrought iron details.
- Vertical proportioned windows.
- Wrought iron accents.



Spanish Colonial

8.6.3.4 Craftsman

History and Character:

The Craftsman style home evolved from the late 19th century American Arts and Crafts movement. These moderately detailed buildings were characterized by the use of rich architectural elements and details. Broad open porches, low sloping roofs, deep overhangs, multiple gables, trellis features, oversized first floor windows, expressive trim, rafters, brackets and wood columns with masonry bases characterize the Craftsman style.

Massing:

- Horizontal proportions simple massing often asymmetrical at the second level.

General Materials:

- Simple roof lines with wide projecting gables.
- Covered entry and roofed porches.
- Deep, broad, porch elements.
- Expressive structural elements such as rafters, posts, and columns.
- Use of wood, stone, or brick at porch columns.
- A mixture of materials such as stucco, stone, brick, and shingle siding.
- Asymmetrical window and door compositions.

Roof Materials and Forms:

- Predominantly low-pitched gabled roofs, occasional hipped or shed roofs.
- Shallow-pitched roofs with extended overhangs.
- Roof dormers.
- Flat concrete tile or architectural grade asphalt shingle.
- Variation of the gable roof (i.e.: cross gable).

Detail Elements:

- Large gables.

- Low pitch roofs with flat concrete tile.
- Windows with accent mullions.
- Exposed rafters and out-lookers, triangular knee brace.
- Decorative gable vent detail.
- Decorative porch supports and railings.
- Transom windows.



Craftsman

8.6.3.5 Farm House

History and Character:

The Farm House style is based on classical design principles established during the American Colonial period and interpreted or blended with the Prairie and Bungalow regional styles. Massing is horizontal in appearance with vertical proportioned windows and door surrounds. Front porches are common. The houses are composed of simple forms with centered entry elements over the front door.

Massing:

- Simple, symmetrical massing.
- Typical two story rectangular masses with added one-story elements such as porches forming more complex building configurations.

General Materials:

- Symmetrical and asymmetrical composition of doors and windows are common.
- Simple classical details such as columns.
- Siding or stucco with brick veneer accents.
- Front porches with wood columns and railings.
- Stone and brick veneer.

Roof Materials and Forms:

- Medium to steep roof pitch with pitched roof dormer.
- Shallow roof pitch used over the porch.
- Flat concrete roof tile.
- Dormers reinforce symmetrical elevations.
- Bay windows and shed roof elements added to simple building forms.

Detail Elements:

- Symmetrical or centered entry feature.
- Decorative wood posts or columns at entries and porches.
- Roof dormers.



Farm House

8.6.3.6 Ranch

History and Character:

The Ranch style is reminiscent of the homes of early ranchers and farmers of Southern California. The Ranch Style evolved regionally in response to available building materials and environmental considerations. The distinctive porch covered terrace elements are a natural response to the temperate Southern California climate. Ranch style homes utilized simplified architectural details inspired by Spanish Colonial, American Colonial, and Monterey architecture.

Massing:

- Simple horizontal massing and rectilinear forms.

General Materials:

- Stucco, board and batten, or horizontal siding.
- Porches along front elevations with a shallow roof break.
- Decorative shutters at windows.
- Wood window trim surrounds.
- Simple column and railing details.
- Substantial wood columns.

Roof Materials and Forms:

- Horizontal gable roofs with medium pitch and deep overhangs.
- Porches with shallow roof pitch.

Detail Elements:

- Simple wood columns with corbels or braces.
- Heavy rafter elements.
- Simple accent shutters.



Ranch

8.6.4 Massing Principles

This section provides suggestions for creating neighborhoods and street scenes that have a variety of building forms that are proportionate to a human-scale and inviting to the pedestrian.

General Elements:

The general elements of building massing include:

- Front Articulation.
- Rear Articulation.
- Garage Placement.
- Roof Form.
- Balconies and Projections.
- Building Offsets or Variable Setbacks.

Objectives:

- Incorporate single-story elements.
- Avoid large flat two-story walls.
- Minimize two-story dominance on street scene, sidewalks, and open spaces.
- Vary building setbacks along the street.
- Minimize visual impact of garages where feasible.

8.6.4.1 Front Articulation

Intent:

The front elevation of the home is an important element in creating a quality community at Montebello Hills. Close attention will be given to elevations and how they address the street scene. Emphasis on location of and design of entries, living areas, and garages will provide a special street appeal. Emphasis on a variety of building massing will create a diverse street scene.

Guidelines:

- Building massing should reflect the architectural style.

- Massing elements should project enough to avoid elevations that appear to be “tacked on.”
- Building details such as doors and windows should be in proportion to the overall massing.
- Building form is encouraged to reflect the interior uses of the home.
- Front elevations for two-story homes should occasionally incorporate a single-story element.
- Recessed two-story elements should create human-scale buildings.
- All homes should have at least two plane variations, excluding the garage, in front elevation massing.

8.6.4.2 Rear Articulation

Intent:

Special attention shall be given to the design of those dwellings adjacent to, or in close proximity to, major community roadways, common areas, open spaces, or entry features. Whether viewed from a distance or from a close range, massing requirements will be implemented to ensure positive community character in these conditions. Generally, repetitious elements such as similar building profiles and continuous gable ends are to be avoided.

Guidelines:

- Architectural massing and articulation should be consistent with the style of the home.
- Visible second level windows and doors shall be enhanced with appropriate trim and details.
- Vertical and horizontal plane breaks are encouraged.

The rear articulation of homes directly adjacent to arterial roadways, collector roads, entry drives, common areas, and open spaces should be given particular attention contributing positively to these edges.

8.6.4.3 Garage Placement

Intent:

The configuration, location and orientation of the garage on the lot are integral design elements, both for the composition of the home and its contribution to the street scene. De-emphasizing the garage is important in order to maintain the overall community design. Emphasizing the living areas of the home as they address the street will achieve this goal.

Placing living areas forward promotes social interaction and facilitates “eyes on the street” for neighborhood security, while also establishing a pedestrian neighborhood orientation rather than an automobile orientation.

Guidelines:

- Garage door patterns should vary among elevation types and reinforce the architectural theme of the home.
- Standard 3-car garage configurations are discouraged.

8.6.4.4 Garage Treatments

The home and the yard, rather than the garage, must be the primary emphasis of the elevation as seen from the street. Each residential plan shall incorporate one of the garage design techniques listed below and each parcel shall include at least two of these techniques to reduce the emphasis on the garage, and therefore, enhance the variable massing of the street scene.

Shallow Recessed Garages

Setting the garage back in relationship to the front of the house or porch is intended to reduce the overall visual mass of the garage.

Mid or Deep Recessed Garages

Setting the garage back to the middle or rear of the lot is intended to expose more living space areas toward the street further reducing the visual impact of the garage along the street.

Lane Loaded

The use of a lane at the rear of the building locates garages off a main loop road and creates a more traditional street scene with the fronts of the houses facing the street.

Split Garage

This treatment de-emphasizes the garage by reducing the standard length of a continuous car garage door. Typically a one car garage and a one or two car garage are split to provide a variation in the appearance of the home. The single car garage elements in this split condition may option into living space that further enhances the street scene by replacing the garage door with windows.

Tandem Garage

This garage layout de-emphasizes the garage space by concealing a third garage space behind a standard two-car garage condition. The tandem space is located so that it may option into living space. The garage is typically incorporated into the architecture of the home.

Setbacks

A varied setback is encouraged along the street frontage by refraining from strict compliance to the minimum garage setback so as not to contribute to a repetitious and monotonous appearance along the street.

8.6.5 Roof Form/Pitch

Intent:

- Roof form is another important design element as it relates to the character of the community, observed from both the external edges and inside the neighborhood.
- Variety of roof forms along streets and open space edges creates a positive visual edge.
- Appropriate massing of roof forms helps to create human scale architecture to the street.

Guidelines:

- Roof forms/pitch should reinforce the architectural style of the homes.
- Roofs shall be composed of a series of simple roof forms.
- Primary roof forms should be gable or hip designs.
- Roofs shall vary in massing along street scene and open spaces.
- Changes in the primary roof (ridge) orientation are encouraged.
- Flat roof elements should be minimized and incorporated only if appropriate to the architectural style.



8.6.6 Balconies and Projections

Intent:

As part of the overall design of a two-story dwelling, balconies and projections provide relief and interest at the second story. Additionally, these elements create ideal outdoor spaces. Balcony projections shall be consistent with the architectural character of the home.

- Balconies and architectural projections should reinforce the architectural style of the house.
- Balcony forms should be designed to appear integral to the overall home design.
- Architectural projections such as fireplace chimneys, covered porches, roof overhangs and building form pop outs are encouraged.
- Balconies and decks are permitted if accessible from the second level of the home. No roof decks or free standing view decks are permitted.

8.6.7 Building Offsets/Variable Setbacks

Intent:

Quality neighborhood design orients the 'living' areas of the home towards the street. To encourage this orientation, alternative setbacks are allowed for living areas as measured from the back of walk.

Guidelines:

- Setbacks shall be appropriate and proportionate to the housing type and lot size.
- Front setback should be varied along the street.
- Edge conditions such as homes backing to collector roads and back-to-back homes should incorporate variable rear setbacks to create variety.

8.6.8 Materials and Details

Architectural materials and detailing are central elements to creating quality communities. Appropriate focus should be given to the architectural details and the design of the details and architectural elements of the home.

General Elements:

The general elements comprising the materials and details of a building are:

- Wall Materials/Finishes
- Accent Materials
- Doors and Windows
- Roofing Materials and Details
- Eaves, Fascias and Rakes
- Color
- Additional Design Elements

8.6.8.1 Wall Materials/Finishes

Approved Materials:

- Board and batten siding.
- Cement plank siding.
- Stucco.
- Exposed masonry walls (brick, slump block, etc.).
- Stone, brick, brick veneers (accent materials).

Approved Finishes:

- Stucco finishes appropriate to the architectural style of the home.
- Smooth or sand finishes are encouraged. Heavy or Spanish Lace stucco finishes are strongly discouraged unless specifically appropriate to the selected architectural style.

Guidelines:

- Building materials should reflect the architectural style of the home.
- Siding materials should be wrapped beyond front elevations and should terminate at an inside corner or extend to the location of the lateral fence.
- Masonry elements and accents should reflect building forms, not appear as an applied veneer.
- Footings shall be exposed no higher than six (6) inches above finished grade.

8.6.8.2 Accent Materials

Accent materials promote individuality in each home and ensure diverse character within the neighborhood. Accents can be used to reinforce the architectural theme of the home.

Guidelines:

- Accent materials should complement the overall color and style of the home.

- Accent materials shall terminate at inside corners and be wrapped to coincide with an architectural element.
- Accent materials may terminate at the location of the lateral fence or at logical end.
- Architectural trim applied to all elevations should be consistent with front elevation of the home.

8.6.8.3 Doors and Windows

The design and detail of the doors and windows on a home reinforce the architectural style and are key elements in the composition of the exterior elevation of the home.

Guidelines:

- Door designs shall be consistent with the architectural style of the home.
- Doors should be protected by porch elements or recessed entries.
- Garage and entry door design shall be appropriate to the style of the home.
- Maximum garage door height shall be eight (8) feet.
- Garage doors should be recessed a minimum of four (4) inches from building plane.
- Alignment and proportions of windows shall be appropriate to the architectural style of the home.
- All windows (including garage door windows) are to be consistent with the architectural style of the home.
- Divided light windows are encouraged in keeping with the architectural style.
- Highly reflective glazing is not permitted.
- Window details such as shutters, trim surrounds, window boxes and window recesses are encouraged in keeping with the architectural style.

8.6.8.4 Roofing Materials and Details

Roofing materials as well as roof forms, pitch and design details are integral elements that reinforce the intended architectural style of the home.

Proposed roofs should be reflective of the architectural style of the home.

Attention should be given to address the context of the roof of each home relative to the adjacent homes along the street.

Approved Roofing Materials:

(Subject to compatibility with the intended architectural style)

- Concrete tile (flat or curved profile)
- Clay tile
- Slate
- High profile composition shingle (3-Dimensional)

Prohibited Roof Materials:

- Wood Shake and Wood Shingle.
- Low Profile Asphalt Composition.
- Corrugated Metal.

Guidelines:

- Roof materials and roof pitches need to be selected to reinforce the architectural style.
- Standing seam metal roofs painted in non-reflective neutral colors are allowed in appropriate architectural styles.
- Avoid repetition in continuous gable-ends and similar ridge heights.
- Skylights are not allowed on the sloped roofs of the front elevations of the building.

8.6.8.5 Eaves, Fascias and Rakes

Guidelines:

- Eave, fascia and rake proportions are to be appropriate to the architectural style.
- Larger eave overhangs provide opportunities for shading and should be used in appropriate architectural styles.
- Exposed rafter tails shall be a minimum of four (4) inches in thickness.
- Wood fascias and rafters shall be painted or stained to reinforce the style of the home.
- Attention shall be given to rake return detail.

8.6.8.6 Color

Intent:

Home colors are important to establishing a blended community at Montebello Hills, yet they should give the impression that each home was designed on its own.

Appropriate color selections make each home unique, but still look natural and in place in the neighborhood context.

Guidelines:

- Diversity of color is encouraged.
- Color shall contribute to distinguishing the overall architectural style of the home.
- Colors should reflect the natural hues found in Southern California.
- Color and hue variation in adjacent homes shall be provided to create neighborhood diversity.

8.6.8.7 Additional Design Elements

Intent:

Design elements that are utilitarian in nature should be designed as integral features that support the intended architectural style.

Guidelines:

- Solar panels should be low profile and flush mounted to match the roof of the house. Connection, frames and solar panel accessories shall be painted to match the roof color.
- Skylights shall be low profile. Skylight frames should match the color of the roof. Unfinished aluminum is not permitted.
- Exposed gutters and downspouts shall be painted to match the adjacent roof or wall color. Decorative gutters may be accented to match the fascia or trim color.
- Faux or real copper patina is acceptable for decorative downspouts.
- Rooftop mechanical equipment is prohibited.
- Air conditioning/heating equipment shall be screened from the street and neighboring views and shall be ground mounted.
- Pool, spa, and water softening equipment shall be screened from neighboring views where feasible.
- Meters shall be screened from public view to the extent possible.

8.6.9 Accessory Structures

Intent:

Accessory structures should be designed to reinforce the architectural style of the primary residence.

Guidelines:

- Detached structures, such as casitas, pool cabanas and guest quarters associated with the single family lot shall be designed to match the style, detail, roof material/pitch and massing criteria of the primary home.
- Detached garages, storage buildings and outdoor sheds should incorporate design features, materials and colors compatible with the primary home.

8.6.10 Sustainable Design Features

There are numerous measures and efficiency ideas incorporated into the Specific Plan including planning concepts designed to reduce vehicle trips, alternative street standards for “Green Streets” with reduced paved sections and natural “shading” techniques, convenient walkways provided within the Specific Plan area, and the inclusion of sustainable criteria for all common facilities and green building standards for proposed residential dwelling units.

“Green Building” denotes an overall systems approach to the design, construction, and operation of buildings that encompasses the environmental, economic, and social impacts of buildings. Green building practices recognize the relationship between natural and built environments and seek to minimize the use of energy, water, and other natural resources in order to provide a healthy, productive, environment. Green building design, construction and operation can have a significant positive effect on energy and resources efficiency, as well as waste and pollution generation.

Leadership in Energy and Environmental Design (LEED) is a program developed by the United States Green Building Council to assess and certify houses and development for their design, construction and operation as “green buildings.” A series of checklists have been developed which allows for the design of homes to incorporate numerous energy efficient, water efficient and transportation efficient measures. Many of these measures, including high efficiency appliances, low water use fixtures and irrigation methods, and building construction techniques maximizing building envelope efficiency could reduce air emissions associated with residential development due to reduced energy consumption and an associated reduction in natural gas combustion at the home or at the power

plant. The LEED checklists will be made available to all builders within Montebello Hills in order to encourage LEED certification in home design.

LEED has different levels of certification based on the extent of measures utilized and the points accrued through the use of the measures and the checklist. By incorporating measures used to achieve a certified standard for the home design or home construction into the Specific Plan, energy efficiency is increased and an associated reduction in emissions can occur through the associated reduction in natural gas combustion at the home or at regional power plants.

The Montebello Hills Specific Plan area is within an area surrounded by substantial existing urban development. For this reason the Specific Plan area and the proposed project constitute an “infill” development. Infill development is able to 1) utilize existing transportation infrastructure reducing the need for construction of additional arterial and major roadway extensions or improvements, and 2) utilize existing nearby retail and personal services located in the Montebello Town Center and the Montebello Town Square located north of the Specific Plan area adjacent to Montebello Boulevard. The use of existing infrastructure and services adjacent to the Specific Plan area serves to reduce the number and length of vehicle trips when compared to a non infill site.

Some of the sustainable criteria being incorporated into the design of the Montebello Hills residential development include:

- Planning for the development of residential dwelling units within an existing urban area comprised of at least 1400 residential units located within a ½ mile radius of the Specific Plan area.
- Designing residential development areas within a ½ mile radius of existing retail uses.

- Locating development within an area served by daily weekday transit service with transit stops located within ¼ mile of the development.
- Provision of bike and pedestrian facilities including the installation of sidewalks along all streets, bicycle accessibility designed into all streets, and the development of a multi-use trail system connected to sidewalks and on street bicycle lanes.
- Use of energy star criteria for construction of the community center and recreational buildings, including solar hot water heating for the swimming pool, energy star lights and lighting fixtures, and energy star appliances and HVAC systems for the community facilities.
- Increasing home energy efficiency beyond Title 24 by 15% (2005 standard);
- Requiring that residential units comply with “Energy Star” system.
- Making available, where feasible, an option to buyers of residential dwellings, the inclusion of solar photovoltaic systems to generate at least 50% of household energy needs.
- The installation of waterless urinals and low flow toilets in community building restrooms.
- The installation of low flow bathroom fixtures in residential dwellings.

Section 9. Relationship to the City of Montebello General Plan

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Section 65450-65457) permits the adoption and administration of specific plans as an implementation tool for elements contained in the local general plan. Specific plans must demonstrate consistency in regulations, guidelines, and programs with the goals and policies set forth in the general plan.

As part of the project, the City will consider the approval of a General Plan Amendment changing certain provisions of the City's General Plan to provide for development of the Specific Plan. The City adopted General Plan Amendment changes the General Plan as follows:

1. Change the General Plan Land Use Plan for the Specific Plan area to Montebello Hills Specific Plan to reflect the land use plan adopted as part of the Montebello Hills Specific Plan. The General Plan Amendment also enables the City to implement new land use policies, as described below, intended to implement the vision for the Specific Plan area.
2. Change the General Plan Circulation Map of the General Plan as follows:
 - Delete the extension of Paramount Boulevard as a designated Major Roadway within the Specific Plan area.
 - Delete the extension of Jefferson Boulevard through the Specific Plan area.
 - Illustrate the existing alignment of Montebello Boulevard adjacent to the Specific Plan area.

3. Change the Park and Recreation Plan Map and the Open Space Plan Map designation of three sites for neighborhood and community parks and playgrounds within the Specific Plan area to reflect the approved land use plan for Montebello Hills. The Montebello Hills Specific Plan provides a site to be offered for dedication to the City for the City's development of a public park, provides for the development of a publicly accessible trails system, and provides for the development of private parks and a private recreation facility to meet the recreational needs of residents.

The relationship of the Montebello Hills Specific Plan to the City of Montebello General Plan and the policies proposed for adoption as part of the approval of General Plan Amendment for the Specific Plan area are discussed below.

9.1 Land Use

Approval of the Montebello Hills Specific Plan includes the adoption of a General Plan Amendment changing the General Plan land use designation for the Specific Plan area from Residential Low Density, Residential Medium Density, Residential High Density, Residential Very High Density, and General Commercial to Montebello Hills Specific Plan, and the adoption of the land use goals, objectives, and policies contained in the Specific Plan and described below. Pursuant to the adoption by the City of the Montebello Hills General Plan Amendment, the General Plan land use goals, objectives, and policies for the Montebello Hills Specific Plan area shall be those set forth in this Specific Plan.



Goal 1: Create a Livable Residential Community.

Objective:

Implement a land plan for a livable, infill residential community within an open space setting incorporating a balance of land uses adequately served by parks and trails, as well as public facilities, infrastructure, and utilities. A livable infill residential community should include features such as:

- Preservation and enhancement of natural features.
- A design that promotes biking and walking.
- Opportunities for informal neighborhood interaction.
- Diverse architectural design of a high quality.
- Connectivity among neighborhoods.
- Diversity and choice of housing types that meet the needs of a variety of lifestyles and economic segments of the marketplace.
- Connectivity to parks, public recreational facilities, and nearby commercial facilities.
- Passive and active recreational opportunities located throughout the community.

Policies:

- Provide a balance of compatible and complementary residential and recreational land uses in a well designed residential master-planned community.
- Create an aesthetically pleasing and distinctive community identity with a sense of place through the establishment of uniform design criteria reflective of influences found within Montebello and the southern California region by comprehensively addressing the design of entries, architecture, landscaping, walls, streetscapes, signage, and other features.

- Design the project as a walkable community to encourage walking as an alternative to the automobile as a means of travel and to create a broader sense of community.
- Create a sense of internal community by enhancing the relationship of buildings to the street within the Specific Plan area.
- Provide a variety of detached and attached home types to meet the needs of a range of age groups, lifestyles, and income levels.
- Ensure that the design of residential Planning Areas are compatible with existing adjacent residential land uses.
- Link streets together in a pedestrian and bicycle friendly manner connecting residential neighborhoods and parks and providing connections to recreational and commercial facilities located near the Specific Plan area.
- Provide that infrastructure and transportation systems developed to serve the community are linked to existing infrastructure and transit facilities surrounding the community.

Specific Plan Consistency:

A strong community identity is established for Montebello Hills through a comprehensive community design emphasizing livability and walkability. Residential areas are oriented to parks and open space connected through a network of publicly accessible multi-use trails and expanded pedestrian walks comprising approximately 8.1 acres of Montebello Hills. Architectural elements of homes fronting streets and landscaping features within the streets and entries of Montebello Hills form unifying elements instilling a sense of place and belonging for residents. Pedestrian and bicycle connectivity is a fundamental community design element of Montebello Hills with a street system encouraging walking by separating sidewalks from the street with tree lined and landscaped parkways and the provision of bicycle accessible streets.

An approximately 5.5 gross acre site will be offered for dedication to the City of Montebello for development by the City of a 4.3 net acre public park. The public park site will accommodate development of active play areas such as sports fields as well as picnic areas and community gathering places. Private parks are planned within each residential Planning Area providing informal play areas and social gathering areas for residents. A private recreational facility to include a swimming pool, spa, and a community center is planned for development.

Approximately 64% of the Specific Plan area is reserved as open space including a Reserve for the California gnatcatcher, a federally listed species. Preservation, restoration and enhancement of the Reserve is planned as part of the development of Montebello Hills in accordance with the requirements of the USFWS. Open space areas will also include portions of the publicly accessible multi-use trail, the continued operation of existing oil and gas facilities, public infrastructure facilities, and the Southern California Edison Easement.

Residential development areas comprise approximately 36% of the Specific Plan area. Five residential Planning Areas are planned providing opportunities for development of a wide range of housing types, addressing a variety of lifestyles and income levels, along with the development of parks and trails.

Detached and attached homes in a variety of styles and types combined with a streetscape that encourages walking, biking, and casual resident interaction make Montebello Hills a truly livable community. Tree lined streets and drought tolerant landscaping at entries and parkways add visual interest to the streetscene creating a safe and inviting environment for pedestrian and bicycle mobility. Architectural features such as front porches, railings, enhanced entries, a mix of building materials and textures,

and authentic detailing on features such as windows and doors, columns, balconies, and lighting combine to create a human scale of architecture relating to the street.

Approximately 14 acres will be provided for a public park site of approximately 5.5 gross acres and a publicly accessible trail system of approximately 8.1 acres. The trail system includes publicly accessible off-street multi-use trails which will provide public pedestrian and bicycle access along Collector Street "A" and Paramount Boulevard through the Specific Plan area. The publicly accessible trail system provides public pedestrian and bicycle connectivity through Montebello Hills to existing streets located at the Specific Plan boundaries allowing bicyclists and pedestrians to continue on public streets to the nearby Whittier Narrows Recreational Area, located to the east of the Specific Plan area, and to existing shopping at the regional commercial centers located adjacent to the Specific Plan area on the north. The multi-use trail extending from the development area through the open space area of Montebello Hills provides public access through the Specific Plan area from Montebello Boulevard and San Gabriel Boulevard on the north to Lincoln Avenue on the south. Where the multi-use trail connects with Lincoln Avenue at the Specific Plan boundary bicyclists and pedestrians can continue on Lincoln Avenue to connect with the Rio Hondo Trail located to the east of the Specific Plan area. Informational displays describing the heritage of Montebello and natural features of interest are planned to be installed along the multi-use trail system of Montebello Hills.



Goal 2: Develop a land use plan responding to the natural environmental conditions and the topography of the area.

Objective:

Address natural site features and environmental opportunities and constraints including the existing hillside terrain, existing habitat areas, and existing oil and gas production facilities as part of the community design.

Policies:

- Create a unique community setting and character through the incorporation of existing natural site features into the design of the community.
- Consider the existing topographic, geologic, and hydrologic site conditions to create a land plan that maintains and incorporates existing landforms where practical.
- Provide for adequate storm water collection facilities designed to contain on and off-site flows affecting the property.
- Provide facilities for water quality treatment.
- Implement a habitat enhancement plan through the removal of invasive and non-native vegetation and introduction of restored native habitat, and incorporate a planting plan using drought tolerant and native plant materials as a community design feature.
- Concentrate development of new residential and park uses within defined Planning Areas and buffer natural open space areas from development with fire safety zones in order to provide fire safety to development and to preserve substantial natural habitat within the Specific Plan area.
- Design a land plan to optimize view potential within the community and provide a network of publicly accessible multi-use trails to encourage public walking and biking to view

areas. Provide public accessibility to view areas through collector roadways and trails at the perimeter of the community.

- Provide visual and acoustical buffers for residential neighborhoods from continuing oil and gas operations.

Specific Plan Consistency:

The community of Montebello Hills addresses the physical characteristics and natural surroundings found within and around the Specific Plan area. The retention of existing natural open space and the preservation of natural wildlife habitat areas are defining elements of the land use plan for Montebello Hills. The Specific Plan provides for the preservation of approximately 64% of the Specific Plan area as open space. Approximately 36% of the Specific Plan area is planned for development of residential land uses. The open space area includes a California gnatcatcher Reserve. As part of the development of Montebello Hills, enhancement of the Reserve is planned to include the removal of invasive, non-native vegetation and the replanting of native plant materials in accordance with the requirements of the USFWS.

The Montebello Hills Specific Plan addresses the existing residential neighborhoods located west and south of the Specific Plan area. An open space area is provided along the southerly and westerly boundaries of the Specific Plan area to provide a natural buffer between existing residential neighborhoods and planned development of new homes. Access to and from the Specific Plan area is provided from Montebello Boulevard, Paramount Boulevard, and Plaza Drive. Roadways will not extend through the Specific Plan area to the south in order to prevent cut through traffic from the Specific Plan area to the street system serving adjacent residential areas south of the Specific Plan area.

As part of ongoing oil operations, the mineral rights owner is modernizing operations to utilize more efficient technologies involving abandonment of some wells, relocation of other wells and pipelines, and drilling of new wells subject to separate permits issued by the appropriate agencies and jurisdictions. No changes to the oil operations are planned or included as part of the Specific Plan. Operating equipment will be noise attenuated to meet City standards for exterior noise levels and all oil facilities abutting any residential Planning Area will be visually screened from residences.

Prior to grading of the Specific Plan area, oil operations within the Specific Plan area will be abandoned in phases to the standards of Cal DOGGR. Soil contaminated by the historical oil field production activities will be removed from the site or remediated on site to meet the cleanup standards of Cal DOGGR, the Regional Water Quality Control Board, and all other agencies with jurisdiction over the cleanup. Future homeowners will be provided with notification as to the previous use of the site as an oil field and the continued oil production activities.

An existing Southern California Gas Company (Gas Company) owned natural gas pipeline is planned for relocation by the Gas Company to the easterly portion of the open space area of Montebello Hills.

Several oil pads for continued oil production are reserved within open space areas. Access to the relocated oil facilities and oil pads is available from Paramount Boulevard, Montebello Boulevard, Lincoln Avenue, and Plaza Drive via oil field roads. No new wells are permitted to be drilled within any residential Planning Area.

The drainage plan for Montebello Hills includes the collection of a majority of the drainage through a new on-site storm drain system consisting of 18-inch, 24-inch, 36-inch, and 48-inch storm drain pipes and the subsequent

conveyance of flows directly to the Whittier Narrows Dam. The drainage plan includes a low flow diversion pipe extending from the main storm drain to convey dry weather and storm flow to a water quality basin located near the southerly boundary of the Specific Plan area north of Lincoln Avenue to satisfy the Standard Urban Storm Water Mitigation Plan (SUSMP) requirements for Los Angeles County. A small portion of the developed area along the northerly edge of the Specific Plan area is planned to drain to existing storm drains located in Montebello Boulevard and Plaza Drive. Connections to existing City or County storm drain facilities will be equipped with continuous deflection separator (CDS) units to satisfy the SUSMP requirements.

Goal 3: Create a hillside residential community of quality design balancing the goals of protection and restoration of the natural ecosystem providing for the health, safety, and welfare of the community while providing for new housing opportunities to meet the needs of a variety of lifestyles and income levels.

Objective:

Create a hillside environment which incorporates the habitat requirements of state and federal resource agencies, acknowledges existing geotechnical and hydrological conditions, preserves off site views, creates public view opportunities, and provides for public accessibility to local and regional features.

Policies:

- Design and maintain the project in a way that incorporates and responds to habitat protection regulations and goals for the California gnatcatcher according to the USFWS.

- Establish and enhance a Reserve and increase habitat connectivity.
- Protect the area from hazards such as fire, flood, and erosion.
- Implement a grading concept that incorporates an undulating edge to maintain natural hillside contours.
- Provide a wide buffer between the new residential community and the existing residential community located south of the Specific Plan area to preserve offsite views of the existing hillside contours and open space.
- Require varied building massing and articulated roof lines along all residential edges.
- Provide publicly accessible off-street, multi-use trails, and bicycle accessible streets through the community adjacent to the protected Reserve and offer pedestrian and bicycle access to regional recreational facilities located east of the Specific Plan area.

Specific Plan Consistency:

The combination of existing oil operations and natural habitat form the foundation for the design of a hillside residential community with the goal of reusing a portion of oil production land for residential purposes while also protecting and restoring the natural ecological area for the benefit of the California gnatcatcher. The residential development area of Montebello Hills comprises approximately 36% of the Specific Plan area while 64% of the Specific Plan area remains in open space.

Publicly accessible trails extend through and along the perimeter of the community. The trail system includes development of a, “Scenic Promenade” along the southerly boundary of the Specific Plan area. The “Scenic Promenade” offers an expansive view of the adjacent open space and views across the greater Los Angeles basin as far south as the Pacific Ocean. On-street parking is provided at this location

allowing for visitors arriving by automobile to stop at this vantage point within the community. This feature also provides visual relief from the built environment and ensures that a visual and aesthetic quality is maintained for the hill-sides from off-site views. On either side of the “Scenic Promenade,” building massing is controlled through requirements to provide a variety of building sizes and rooflines. Varied architectural and development designs are prescribed for the hillside edge treatments. Perimeter edge planting and grading serves to enhance the transition from the built environment to the natural environment, however, tree planting is limited at edge areas which abut the open space area to minimize opportunities for raptors and other birds of prey that pose a threat to the California gnatcatcher.

While the preservation and enhancement of the open space area is a significant feature of the grading plan for Montebello Hills, the protection of the health, safety and welfare of the community is equally important. The grading plan addresses the soil conditions, geotechnical stability, and drainage characteristics of the Specific Plan area and provides for erosion control and preventative measures for potential natural wild land fire hazards in accordance with the California Building Code and the Fire Safety Plan. All remedial grading incorporates the recommendations of geotechnical reports prepared for the Specific Plan. A Fire Safety Plan created for project development provides safety factors between the natural open space and the built environment.

Goal 4: Provide for a range of housing types to meet the needs of a variety of economic segments.

Objective:

Anticipate market needs with a land use plan that provides for development of homes that will be marketable within the evolving economic profile of the surrounding region.

Policies:

- Provide new housing opportunities in the City by designating appropriate density ranges suitable for development of a variety of detached and attached housing types to meet the housing needs of a variety of age groups, lifestyles, and income levels.
- Provide housing opportunities for households with a wide variety of income levels within close proximity to employment centers located in the surrounding area.
- Provide for the ability to gate the Specific Plan area, and potentially, some neighborhoods within residential Planning Areas of the Specific Plan.

Specific Plan Consistency:

Residential Planning Areas 1-5 comprise approximately 174 gross acres of Montebello Hills. Residential Planning Areas for Montebello Hills are designed to accommodate development of single family detached estate homes, single family detached housing and attached housing within the community. The Specific Plan permits the development of up to 1,200 residential dwelling units distributed among the five residential Planning Areas to include a variety of front loaded single family detached home types, lane loaded single family detached and attached home types, courtyard or cluster single family detached home types, and residential attached home types including paired homes, triplexes, townhomes, stacked flat homes, and greencourt homes. The entries to

Montebello Hills are designed to allow for the gating of the community should market conditions warrant gating. Additionally, market conditions may warrant gating some neighborhoods within Residential Planning Areas. Residential Planning Areas are linked by a network of street separated sidewalks, trails, and bicycle accessible streets connecting all the residential Planning Areas to a public park site and to existing streets abutting the Specific Plan boundary which provide for bicyclists and pedestrians to continue on these streets to nearby shopping, and adjacent regional recreational facilities.

Goal 5: Design residential neighborhoods in keeping with the community design goal of creating a livable residential community.

Objective:

Incorporate the principles of livable neighborhood design into the community plan.

Policies:

- Design recognizable neighborhoods at human scale by orienting homes to the street and by providing for a safe and inviting pedestrian oriented streetscape.
- Provide diversity in architectural design.
- Promote walkability within the community by providing connectivity among residential neighborhoods and parks through a network of expanded width pedestrian walkways and multi-use trails.
- Provide connectivity for pedestrians and bicyclists from the Specific Plan area to surrounding commercial areas and regional recreation facilities through development of a comprehensive network of publicly accessible multi-use trails, expanded width pedestrian paths, and bicycle accessible streets.

- Accommodate the development of a variety of housing types with a land use plan addressing lifestyle considerations of singles, families, and empty nesters.
- Orient residences around parks promoting active and passive recreational activity and casual social interaction among neighbors.
- Require diversity in architectural styles and use of traditional design elements to create an interesting and pedestrian friendly street scene.

Specific Plan Consistency:

A strong community identity is established for Montebello Hills through a comprehensive community design that emphasizes livability and walkability. Residential areas are oriented to parks and open space connected through a network of publicly accessible multi-use trails and expanded pedestrian walks. Architectural elements of homes fronting streets and landscaping features within the streets and entries of Montebello Hills form unifying elements for residents instilling a sense of place and belonging for residents. Pedestrian and bicycle connectivity is a fundamental community design element of Montebello Hills with a street system encouraging walking by separating sidewalks from the street with tree lined, landscaped parkways and bicycle accessible streets. Approximately 8.1 acres will be developed as a network of off-street multi-use trails offering opportunities for the public to walk or bike to the public park site, along the “Scenic Promenade,” and through the community to existing streets located at the boundaries of the Specific Plan area. Where trails terminate at the Specific Plan area boundaries bicyclists and pedestrians can continue on these streets to connect to the Whittier Narrows Regional Recreational Area located east of Montebello Hills and to nearby shopping at regional centers located north of Montebello Hills. A 5.5 gross

acre public park site will be offered for dedication to the City as part of the project. The public park site provides opportunities for the City to develop a community center facility, active play areas including sports fields, and picnic areas. Approximately 2.5 acres of private parks and a recreational facility will be developed within the Specific Plan area. Private parks are planned within each residential Planning Area, and a private recreational facility to include a swimming pool, spa, a community center, informal play areas, and social gathering area will be provided for residents.

Residential and public park development areas comprise approximately 36 percent of the Specific Plan area. Five residential Planning Areas are planned providing opportunities for development of a wide range of housing types addressing a variety of lifestyles and income levels. Single family detached and attached homes in a variety of styles and types along with a streetscape that encourages walking, biking, and casual resident interaction combine to make Montebello Hills a truly livable community. Tree lined streets and landscaped entries and parkways add visual interest to the streetscene creating a safe and inviting environment for pedestrian and bicycle mobility. Architectural features such as front porches, railings, enhanced entries, a mix of building materials and textures, and authentic detailing on features such as windows and doors, columns, balconies, and lighting combine to create a human scale of architecture relating to the street.

Montebello Hills is a walkable community with a pedestrian friendly street system designed with walkways separated from the street by landscaped, tree lined, parkways. A publicly accessible trail system and “Scenic Promenade” provide an environment where residents can visit with neighbors while walking along shaded sidewalks throughout the community. Residences are planned to front onto public gathering places

enabling residents to have their eyes on the street, promoting a safe hometown feel. It is a community of smaller neighborhoods offering a diversity of streetscapes, a variety of home types, and a variety of architectural styles with landmarks that tell you where you are in the community.

Goal 6: Create a fiscally responsible community.

Objective:

- *Provide for new public facilities and infrastructure improvements as part of development of the community.*
- *Create potential for additional tax revenues to the City and the RDA.*

Policies:

- Provide for construction of new public infrastructure improvements adequate to serve the Specific Plan area as part of the development at no cost to the existing residents of Montebello.
- Participate in the payment of appropriate public service fees to accommodate the public service needs generated by the community.
- Provide for development that will increase tax increment revenues to the RDA and enhance sales tax revenues to the City.

Specific Plan Consistency:

The development of Montebello Hills pays for the construction of infrastructure and public facilities through developer funds and public financing mechanisms including, but not limited to, Community Facilities Districts (CFDs) and Assessment Districts (ADs) formed to construct improvements paid for by property owners of Montebello Hills. Conditions of approval adopted as part of the approval of tentative tract maps for the development and the Development Agreement approved for the proj-

ect may require that payment of the appropriate development related impact fees such as fire, police, park, and library services fees be made by the developer. Development of the Specific Plan area will generate increased tax increment revenues to the RDA as a result of an increase in the value of the property. Sales tax revenues to the City could increase as a result of the residents of Montebello Hills shopping locally. Pursuant to an agreement, due to expire in 2009, the City receives annual oil production tax revenues from the production of oil and gas within the Specific Plan area. The continued operation of existing oil and gas production facilities within the Specific Plan area ensures that these tax revenues will continue to the City should the agreement be renewed.

Goal 7: Design a circulation system serving motorists, bicyclists, and pedestrians.

Objective:

Create a pedestrian and bicycle friendly circulation system which encourages walking and biking while providing for the safe and efficient movement of automobiles through the community.

Policies:

- Create a simple and understandable pattern of streets for the community.
- Create an inviting bicycle and pedestrian environment by incorporating publicly accessible off-street, multi-use trails and expanded width pedestrian walkways, landscaped parkways, streets that are bicycle accessible to the public, and street separated sidewalks.
- Incorporate traffic calming techniques within the street design to include roundabouts, enhanced parkway landscaping, median landscaping, and tapered street intersections and lane entrances to influence a drivers peripheral vision and encourage motorists to reduce their driving speeds.

Specific Plan Consistency:

The circulation plan for Montebello Hills reinforces the goal of providing for a safe environment for pedestrian movement and bicycle traffic, reducing the reliance on the automobile as a means of travel, and provides for the safe and efficient movement of vehicular traffic through the community. Street design is an important element in establishing a safe and welcoming pedestrian and bicycle environment. Streets are planned to be in scale with neighborhoods and landscaped in order to encourage safe driving speeds. A publicly accessible trail system of expanded pedestrian walks, a multi-use trail, and bicycle accessible streets provides pedestrian and bicycle connectivity through and around the community, to parks within the community, and to existing streets abutting the Specific Plan boundary. Where the trail system terminates at the Specific Plan boundary, bicyclists and pedestrians can continue on existing streets to connect with commercial and regional recreational facilities surrounding the community.

The primary existing transportation corridors serving Montebello Hills are Montebello Boulevard and Paramount Boulevard. Secondary access is provided to the Specific Plan area on the east via a connection with Plaza Drive which crosses the Specific Plan area along the northeasterly portion of the Specific Plan area. The circulation plan for Montebello Hills includes two community entries along Montebello Boulevard and one entry along Plaza Drive. The Specific Plan area is served internally by a network of residential collector roadways and local streets providing public scenic view opportunities and designed to encourage drivers to proceed slowly.

New street separated sidewalks and a publicly accessible trail system comprised of expanded pedestrian walkways, a multi-use trail, and bicycle accessible streets connect residential neigh-

borhoods and parks and provide public access to scenic vista points and public access through the community from Montebello Boulevard and Plaza Drive on the north to Lincoln Avenue on the south. Where the publicly accessible trail system connects with existing public roadways located at the boundaries of the Specific Plan area, bicyclists and pedestrians can continue on these roadways to connect with off-site regional trails, recreational amenities, and shopping centers adjacent to the community.

The circulation system for Montebello Hills provides for traffic calming within the community to slow traffic and reduce traffic noise on streets contributing to safe and livable neighborhoods in which to walk, bike, and drive. Traffic calming techniques incorporated into the design of the Montebello Hills circulation system include the provision of traffic circles and a local neighborhood street design incorporating extensive drought tolerant landscaping on each side of the street to add interest and encourage drivers to slow their travel speed and observe their surroundings. The use of private lanes with tapered entrances at intersections with residential streets serves to slow traffic.

Goal 8: Create a strong community identity for Montebello Hills.

*Objective:
Implement a community design that establishes a sense of place and a sense of community belonging.*

Policies:

- Provide community wide recreational facilities and amenities including a site for a public park, a private community recreation center, a publicly accessible multi-use trail system, and private park amenities.
- Create a community identity through the use of native and drought tolerant plant materials, evocative of the southern

California landscape, within project entries and streetscapes throughout the community to enhance the street scene and promote walkability.

- Create a strong sense of arrival into the project through enhanced project entries.
- Encourage outdoor activity and wellness with a plan for development of parks and trails and development of a community recreation center within walking and biking distance to residences. Provide pedestrian and bicycle connectivity between residential areas and regional recreational facilities located east of the Specific Plan area through development of a trail system comprised of multi-use trails, expanded width side-walks, and bicycle accessible streets.
- Commemorate the history of Montebello for residents of Montebello Hills through the installation of informational displays at various points along the multi-use trail system and within the parks of Montebello Hills.
- Encourage walking and biking within the community through development of a local multi-use trail network, expanded width walkways, street separated sidewalks, and bicycle accessible streets.
- Create an open space setting for the community through conservation and enhancement of open space.
- Provide for public gathering places and focal points within the design of the community.

Specific Plan Consistency:

Approximately 14 acres are provided within the Specific Plan area for a public park site and a publicly accessible trail system. In addition, each Planning Area will contain a private park, and development of a private recreational facility is also planned. A publicly accessible trail system comprised of approximately 8.1 acres of off-street multi-use trails, expanded width side-

walks, and the “Scenic Promenade,” along with bicycle accessible streets will provide public access to the park site, the scenic vista area along the southerly boundary of the Specific Plan area, and through the Specific Plan area from the north to the south. A site of approximately 5.5 gross acres will be offered for dedication to the City at the entry to Montebello Hills at Paramount Boulevard for development by the City of a public park. The net area for the park site is approximately 4.3 acres and will be of a configuration to accommodate active play fields such as a sports field, parking, and a multipurpose facility with restrooms. Approximately 2.5 acres will be provided as private parks and a private community center within residential Planning Areas. A private active recreational area including a pool, spa, and community center is planned within one of the residential Planning Areas to serve the active recreational needs of residents. Each residential Planning Area will contain a private park of a minimum size of .25 acres. The planned “Scenic Promenade,” adjacent to the southerly boundary of the Specific Plan will provide public view opportunities to the open space area and across the Los Angeles Basin as far south as the Pacific Ocean.

Approximately 64% of the Specific Plan area is designated as open space within the hillsides, ridges, and canyons of Montebello Hills. Open space contains California gnatcatcher habitat to be preserved and, in some areas, enhanced through the removal of non-native vegetation and the planting of native plant species. The open space area will include fire safety zones for the development, a portion of the publicly accessible trail system, graded slopes, continued operation of existing oil and gas production facilities, the Southern California Edison Easement, and public facilities such as a water quality basin, water reservoirs, telecommunication towers and a Southern California Gas Company gas line.

A network of publicly accessible off-street multi-use trails, and bicycle accessible streets is planned to connect to the public park site, and will provide public scenic vista points. The trail system provides public pedestrian and bicycle connectivity through the Specific Plan area connecting to existing roadways located at the boundaries of the Specific Plan area. Where the trail system terminates at the Specific Plan boundary bicyclists and pedestrians can continue along existing roadways to the nearby Whittier Narrows Recreational Area located east of the Specific Plan area and to existing shopping at the regional commercial centers located adjacent to the Specific Plan area on the north. The trail system extends from the residential development area through the open space of Montebello Hills and connects to Lincoln Avenue and Plaza Drive providing bicycle and pedestrian access to these existing streets surrounding Montebello Hills. Where the trail system terminates at Lincoln Avenue pedestrians and bicyclists can continue along Lincoln Avenue to connect to the Rio Hondo Trail. Information displays installed along the multi-use trail system of Montebello Hills are planned to describe the heritage of Montebello and points of natural interest.

The Specific Plan includes a comprehensive set of landscape and architectural design guidelines to ensure that the design of Montebello Hills is one of a community with monuments and places of interest that unify the community and provide a sense of place for residents. Community entries, traffic circles, and streets create a sense of arrival through the use of drought tolerant and native landscape materials combined with hardscape treatments to create a community evocative of the southern California environment. Architectural design guidelines are included to guide the development of residential design within the community and to unify the community through the use of authentic architectural

styles reflective of the character of the region, and through the use of varied styles, elevations, floor plans, colors, and materials which emphasize front elevations relating to the street.

Goal 9: Incorporate sustainable features into all aspects of the community.

Objective:

Implement a community plan incorporating the fundamentals of smart growth and sustainability.

Policies:

- Design homes with opportunities to create home offices allowing people to work from home and reduce driving time and vehicle emissions.
- Incorporate native plant materials or drought tolerant plant materials into the landscaping of entries, streetscapes, and public spaces and encourage homeowners to utilize drought tolerant plant materials in private yard areas.
- Develop a plant palette to include canopy trees to achieve natural ventilation and cooling.
- Connect residential areas to existing public transit facilities and existing commercial and business land use areas through a comprehensive pedestrian and bicycle trail network promoting walking and bicycling as an alternative means of travel to the automobile.
- Equip residences with the latest technology for internet access allowing residents to shop and work on-line, thereby reducing vehicle trips to employment centers and shopping.
- Utilize “Night Sky Friendly” outdoor lighting within streets, parks, trails, private outdoor spaces, public parking lots, and public gathering spaces.

- Maintain natural habitat within permanent open space areas and reintroduce historical indigenous habitat and plant species into open space areas.
- Reduce roadway widths and encourage the use of non-pervious materials as much as possible to minimize heat generating asphalt surfaces and surface runoff of water.
- Incorporate green building design practices wherever feasible to include the option for homeowners to purchase solar photovoltaic systems to generate electricity for household energy needs.

Specific Plan Consistency:

The Specific Plan includes development regulations establishing the standards for residential development including requirements that all homes be equipped with telecommunications technology for computer internet access, phone, fax, and television with broadband fiber optics cable allowing residents to work and shop at home to reduce vehicle trips. Home occupations are listed as permitted uses within all residential districts. A comprehensive network of publicly accessible multi-use trails, expanded pedestrian walkways, and bicycle accessible streets extends through the community connecting residential areas to parks, and to nearby existing streets providing pedestrian and bicycle access to adjacent regional recreational facilities, and nearby shopping centers. The development of Montebello Hills is required to comply with City of Montebello requirements for the provision and placement of solid waste and recycling receptacles.

Reclaimed water is not available at this time for Montebello Hills. An irrigation system for public right-of-way landscaping, including medians, and common use areas within Montebello Hills will be constructed for convenient conversion to reclaimed water when it becomes available. The landscaping planned

for the Specific Plan area includes the use of native and drought tolerant plant materials. The Specific Plan includes requirements for the implementation of Best Management Practices for storm water runoff improvements.

Outdoor lighting within public outdoor spaces, streets, parks, trails, and private outdoor spaces, is required to be “Night Sky Friendly” wherever possible. Trails within the Reserve will not be lit and the trails will be closed at dusk. Homeowners will have the option of purchasing photovoltaic technology to be installed in their homes for solar power to generate electricity for household energy needs.

The Specific Plan designates approximately 64% of the Specific Plan area for open space land use and approximately 36% of the Specific Plan area for residential land use. Open space areas include a California gnatcatcher Reserve to be enhanced through the removal of invasive non-native vegetation and the replanting of native plant materials in accordance with the requirements of the USFWS.

9.2 Circulation

The 1973 General Plan Circulation Plan depicts Paramount Boulevard extending through the Specific Plan area, connecting to Lincoln Avenue and depicts Jefferson Boulevard extending through the Specific Plan area connecting to San Gabriel Boulevard. Due to the federal listing of the California gnatcatcher in 1994 and the designation of the open space areas within the Specific Plan area as habitat, implementation of these roadway extensions is no longer compatible with the regulations of the USFWS as it would encroach on California gnatcatcher habitat. Connections of major roadways with Lincoln Avenue are not feasible due to its location within the jurisdiction of the US Army Corps of Engineers, thereby preventing the possibility of any future roadway expansion.



The adoption of the Montebello Hills General Plan Amendment includes the adoption of a change in the General Plan Circulation Map as follows:

- Terminate the extension of Paramount Boulevard as a General Plan Major Roadway southerly from Montebello Boulevard through the Specific Plan area and connecting with Lincoln Avenue to the south of the Specific Plan area.
- Eliminate the extension of Jefferson Boulevard across the Specific Plan area in a west to east direction.
- Illustrate the existing alignment of Montebello Boulevard adjacent to the Specific Plan area.

The relationship of the Montebello Hills Specific Plan to the applicable City General Plan Circulation Element policies is discussed below.

Policy 4: Through traffic in residential areas should be discouraged.

Specific Plan Consistency:

The circulation plan for the Specific Plan area terminates Paramount Boulevard within the Specific Plan area preventing cut through traffic from Montebello Boulevard to the streets of the residential communities located south of the Specific Plan area. The planned termination of Paramount Boulevard within the Specific Plan area and the planned termination of Jefferson Boulevard at Montebello Boulevard will serve to prevent cut through traffic within the residential land use areas of the Specific Plan.

9.3 Population

The General Plan Population Element contains a guideline for the total population for the City of between 60,000 to 70,000 people.

Specific Plan Consistency:

The current population for the City of Montebello per the 2000 US Census is 65,000. The population resulting from the development of the Specific Plan area could range from approximately 3,600 persons, assuming an average of 3 persons per household to 4,200 persons assuming 3.5 persons per household. Development of the Specific Plan area will result in an estimated additional population within the General Plan guideline of a maximum of 70,000 residents for the City.

9.4 Housing

The relationship of the Specific Plan to the City's General Plan Housing Element is discussed below.

Policy: The City of Montebello's policy is to encourage and promote the development of a variety of housing types, including second units.

Specific Plan Consistency:

The Specific Plan permits the development of a variety of single family detached and residential attached housing types including front loaded single family detached estate and conventional homes, lane loaded cottage homes, 2 Pack and 3 Pack single family detached homes, cluster single family detached homes, courtyard single family detached homes, paired homes, triplex homes, townhomes, stacked flats, and greencourt homes. The Specific Plan permits the development of residential second units consistent with state law.

9.5 Parks and Recreation

The relationship of the Specific Plan to the City's General Plan Parks and Recreation Element is discussed below.

The General Plan Parks and Recreation Map designates the Specific Plan area for three sites for neighborhood and community parks and playgrounds. The adoption of the Montebello Hills General Plan Amendment includes an amendment to the Parks and Recreation Map changing the designation of three sites for neighborhood and community parks and playgrounds within the Specific Plan area to the land use plan approved as part of the adoption of the Montebello Hills Specific Plan.

Specific Plan Consistency:

The approved land use plan for the Montebello Hills Specific Plan includes the provision of approximately 14 acres for a public park site and publicly accessible trails of which approximately 5.5 gross acres will be offered for dedication to the City for development by the City of a public park and approximately 8.1 acres will be developed as a publicly accessible trail system. The publicly accessible trail system is comprised of an off-street multi-use trail and expanded pedestrian walkways. The trail system provides public access through the Specific Plan area from Montebello Boulevard and Plaza Drive to Lincoln Avenue and includes a "Scenic Promenade," extending along the southern boundary of the Specific Plan area providing areas for the public to stop and enjoy the scenic vistas of open space and the Los Angeles Basin as far south as the Pacific Ocean. Development of each residential Planning Area includes development of a private park of a minimum of .25 acres, and a private recreation center will be developed within one residential Planning Area on approximately 1.0 acre to include a pool, spa, and community center to meet the needs of

residents. Altogether, approximately 2.5 acres will be provided in private park and recreational facilities.

9.6 Open Space

The relationship of the Specific Plan to the City's General Plan Open Space Element is discussed below.

The General Plan Open Space Map designates the Specific Plan area for three sites for neighborhood and community parks and playgrounds. The adoption of the Montebello Hills General Plan Amendment includes an amendment to the Open Space Map changing the designation of three sites for neighborhood and community parks and playgrounds within the Specific Plan area to the land use plan approved as part of the adoption of the Montebello Hills Specific Plan.

Specific Plan Consistency:

The approved land use plan for the Montebello Hills Specific Plan includes the provision of approximately 14 acres for a public park site and publicly accessible trails of which approximately 5.5 gross acres will be offered for dedication to the City for development by the City of a public park and approximately 8.1 acres will be developed as a publicly accessible trail system. The development of a publicly accessible trail system includes an off-street multi-use trail and expanded pedestrian walkways. The trail system provides public access through the Specific Plan area from Montebello Boulevard and Plaza Drive to Lincoln Avenue and includes a "Scenic Promenade," extending along the southern boundary of the Specific Plan area providing areas for the public to stop and enjoy the scenic vistas of open space and the Los Angeles Basin as far south as the Pacific Ocean. Development of each residential Planning Area includes development of a private park of a minimum of .25 acres, and a private recreation center on approximately 1.0 acre is planned to include

a pool, spa, and community center to meet the needs of residents. Altogether, approximately 2.5 acres will be provided in private park and recreational facilities.

The relationship of the Specific Plan to applicable General Plan Open Space policies is discussed below.

Policy: Ecologically important areas should be viewed as areas of critical concern and should be preserved wherever possible.

Specific Plan Consistency:

The Specific Plan area contains habitat for the California gnatcatcher, a federally listed species. The Specific Plan designates approximately 64% of the Specific Plan area as open space to include a California gnatcatcher Reserve. The Specific Plan incorporates the requirements of the USFWS regarding the preservation and enhancement of the Reserve within the Specific Plan area. A conservation easement will be placed over the Reserve and an endowment will be established by the applicant for the management and maintenance, in perpetuity, of the Reserve. Upon USFWS approval, the Reserve will be conveyed in easement to a non-profit organization or other entity for ownership and maintenance of the Reserve in perpetuity.

9.7 Redevelopment Element

The General Plan Redevelopment Element recognizes the designation of the Specific Plan area within the RDA Montebello Hills Redevelopment Project Area. The Redevelopment Element does not contain specific policies related to the Specific Plan area. The Specific Plan area will continue to generate tax increment to the RDA for the term of the project area and is projected to increase tax increment revenues to the RDA as a result of the development of the Specific Plan area.

9.8 Conservation Element

The relationship of the Specific Plan to applicable Conservation policies is discussed below.

Policy: Disposal of liquid wastes should be through the sewer system or by transport to approved disposal sites and not by direct discharge on or under the ground surface. Existing private disposal operations should be carefully regulated.

Specific Plan Consistency:

The Specific Plan proposes the construction of new master planned sewer facilities designed to service the development of up to 1,200 residential dwelling units, a public park and recreation center, and other private parks and recreation facilities. A total of 4 separate on-site sewer systems will be constructed to collect and convey wastewater flows to existing Los Angeles County Sanitation District sewer mains.

Policy: Promote wastewater treatment and utilization for purposes such as irrigation tooling and groundwater recharge where feasible.

Specific Plan Consistency:

Sewer flows generated by the development will be treated by the Joint Water Pollution Control Plant located in the City of Carson, which has a design capacity of 400 mgd and currently processes an average flow of 313.7 mgd, or Los Coyotes Water Reclamation Plant located in the City of Cerritos, which has a design capacity of 37.5 mgd and currently processes an average flow of 22.6 mgd. Peak wastewater flows generated by the project are estimated at approximately 0.57 mgd. Average daily flows generated by the project are estimated at approximately 0.23 mgd.

Reclaimed water for irrigation purposes is not currently available for the Specific Plan area. An irrigation system for public right of way landscaping, including medians, and common use areas within the Specific Plan area will be constructed for convenient conversion to reclaimed water when available. Water conservation within the Specific Plan area will be implemented through the use of native and drought tolerant plant materials in the landscaping of common areas including entries, medians, parkways, parks, and other similar common areas.

Policy: Utilize environmental impact report process to focus on energy conservation measures. Use of public transportation systems should be encouraged.

Specific Plan Consistency:

An Environmental Impact Report (EIR) will be prepared for the project analyzing the impact of the project on infrastructure systems and the infrastructure facilities and conservation measures proposed as part of the project. The EIR will include mitigation to address any identified impacts.

The trail system planned as part of the development of the Specific Plan area provides for public pedestrian and bicycle connectivity through the community through a system of off-street multi-use trails, connecting to Plaza Drive, Montebello Boulevard, and Paramount Boulevard. Existing public transit facilities are located along Montebello Boulevard and Paramount Boulevard conveniently located within walking and biking distance of the Specific Plan area via the proposed trails system.

9.9 Noise Element

The relationship of the Specific Plan to applicable Noise policies is discussed below.

Policy: Utilize comprehensive planning, Environmental Impact Reports, redevelopment, and land use decisions to minimize adverse impact of noise in all areas of the community,

Specific Plan Consistency:

An Environmental Impact Report (EIR) will be prepared for the project analyzing noise impacts to residential land uses within the Specific Plan area, noise impacts associated with development of the project, and the acoustical and noise attenuation measures proposed as part of the project. The EIR will include mitigation measures to address any identified impacts.

9.10 Scenic Highways Element

The relationship of the Specific Plan to applicable Scenic Highways policies is discussed below.

Policy: Consider promotion and establishment of unofficial scenic routes in conjunction with development and redevelopment of the Montebello Hills, Rio Hondo Channel areas and other applicable locations in the City. Of particular interest are routes and points in the Montebello Hills where vistas of the South Coast Basin, Downtown Los Angeles, the San Gabriel Mountains and Valley, and the Whittier Narrows–Puente Hills are most impressive. Consideration of scenic route designation shall include providing turn outs, picnic areas, and vista locations to take maximum advantage of these scenic qualities.

Specific Plan Consistency:

Development of the Specific Plan area includes development of a publicly accessible trail system. The trails system extends around and through the residential land use area and, in some locations, is adjacent to open space. The trails system includes development of a “Scenic Promenade” along the southerly boundary of the Specific Plan area where scenic vistas of the South Coast Basin, Downtown Los Angeles, the Whittier Narrows, and Puente Hills are most impressive. Along the “Scenic Promenade,” informal areas will be provided for the public to relax and enjoy the views of open space and the Los Angeles Basin as far south as the Pacific Ocean. Where the trail system extends along the westerly, northerly, and easterly portions of the Specific Plan public scenic vistas are provided of Downtown Los Angeles, San Gabriel Mountains, San Gabriel Valley, Puente Hills, and Whittier Narrows.

9.11 Seismic Safety

The relationship of the Specific Plan to applicable Seismic Safety policies is discussed below.

Policy: To seek reduction of unacceptable structural hazards on a voluntary basis and through other appropriate means.

Specific Plan Consistency:

Development within the Specific Plan area will be consistent with all State of California building and construction codes pertaining to seismic safety. An Environmental Impact Report (EIR) will be prepared for the project analyzing seismic and geologic hazards surrounding and within the Specific Plan area, the potential impacts to structures within the Specific Plan area, and the seismic safety measures proposed as part of the project. The EIR will include mitigation measures to address any identified impacts.

9.12 Safety Element

The relationship of the Specific Plan to applicable Safety policies is discussed below.

Policy: Promote built in fire protection by the private sector.

Specific Plan Consistency:

Where residential development interfaces with open space, fire protection zones are necessary to be provided as part of development. These zones will include the planting of modified plant materials to provide fire retardant buffer between open space and residences. An Environmental Impact Report (EIR) will be prepared for the project analyzing potential impacts from fire hazards associated with development of the project and the Fire Safety Plan proposed as part of the project. The EIR will include mitigation measures to address any identified impacts.

Section 10. Definitions

The meaning and construction of words and phrases contained within the Specific Plan shall be those contained in Chapter 17.08, “Definitions,” of the Montebello Municipal Code except as provided for herein.

Architectural Projection -

An element that articulates a building elevation such as, but not limited to eaves, window and door pop-out surrounds (including garage door pop-outs), media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies, entry gates, and other similar elements.

Building Site Area -

The ground area of one lot condominium or multi-family building.

Condominiums, Airspace -

A form of property ownership in which the owner of a dwelling unit within a building generally owns and maintains the interior of the dwelling unit while the exterior of the building and the surrounding common area are owned in common by all owners within the condominium group and common areas are maintained by a homeowner’s association.

Condominiums, Detached Site -

A form of property ownership in which a detached residential unit is generally owned individually with the exclusive right to use a portion of the common area granted to the same owner of the individual residential unit. The exterior of the dwelling is maintained by the homeowner and the common area is maintained either by the homeowner association or the homeowner.

Cul de sac (also Knuckle Lots) -

Lots located at cul de sacs and on the outside of “L” intersecting streets, which are typically less depth than the adjacent lots, requiring a reduced front setback.

Fee Simple Lots -

Individual lots within a subdivision which are held in title by the purchaser.

Front Setback -

The minimum required distance between the foundation of a building to the closest front property line.

Front Yard Area -

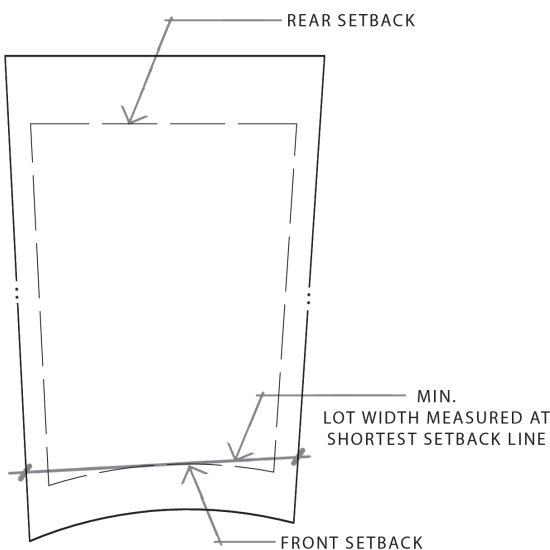
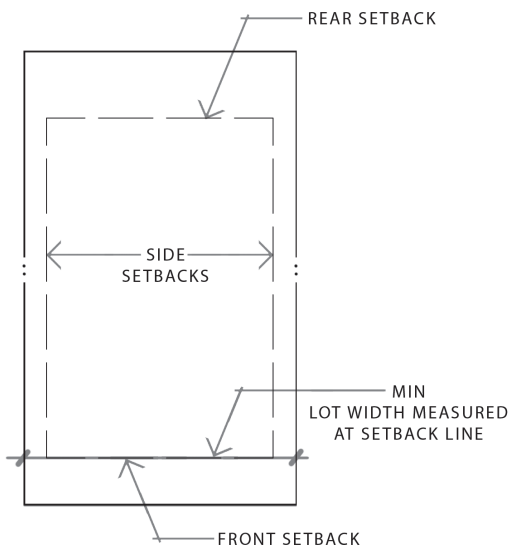
The total area between the front of the building and the front property line.

Garage Types -

Refers to the variety of garage configurations developed to add visual interest to local residential streets and to minimize the impact of garage doors visible from the street as illustrated in Section 8, “Design Guidelines,” of the Specific Plan.

Lot Width -

Generally defined as the distance between the two side property lines. Lot width dimension is determined by measuring the shortest distance between property lines measured at the front or rear setback line as illustrated in the exhibit below. For purposes of this Specific Plan the lot width of single family detached estate and conventional residential home types determines the potential width of the house facing the



local street. For other detached single family home types where the lots do not face the local streets, the lot width is measured between side property lines. In the case of condominium development, where there are no individual lots, this definition is not applicable. Home type exhibits within this Specific Plan provide a Lot Orientation diagram to assist in determining the proper application of minimum lot width standards.

Lane -

The paved area, either public or private, designed for the primary purpose of accessing residential garages and parking areas. Lanes are generally located at the rear of a residence and are intended to minimize the impacts of garages along local residential streets. Lanes may connect local streets or may terminated to form a “motorcourt.”

Motorcourt -

The paved area designed within or adjacent to the garage doors of various detached and attached home types, typically not a through travel lane.

Open Space Land Use Area -

The total area as depicted on Exhibit 4-1, “Land Use Plan,” within the Specific Plan designated for habitat reserve, oil and gas facilities, publicly accessible trails, the Southern California Edison easement, the existing Montebello Town Center parking lot, and public facilities, including but not limited to, water reservoirs, water quality basins, the Southern California Gas Company gas line, power lines and towers, manufactured slopes, emergency vehicle roadways, oil service roadways, and public roadways.

Planning Area Gross –

The total area within a Planning Area of the Specific Plan as depicted on Exhibit 4-1, “Land Use Plan,” of the Specific Plan, including residential development areas, manufactured slopes, fuel modification zones, publicly accessible trails, public and private parks, emergency vehicle roadways, continued existing oil and gas production facilities pursuant to Montebello Municipal Code Section 17.44 and Chapter 5.52, and public and private roads and infrastructure facilities.

Rear Setback –

The minimum required distance between the foundation of a building to the rear property line.

Rear Yard Area –

The area between the rear elevation of the building and the rear property line.

Reserve -

That portion of the Specific Plan area designated as a permanent habitat area for the California gnatcatcher and which is either deed restricted or placed within a conservation easement in favor of either an agency or a non-profit organization in perpetuity for the ownership and maintenance of the permanent habitat.

Residential Attached Greencourt Homes –

The Residential Attached Greencourt Homes is a home type consisting of four to six units per building which may utilize front loaded garages, but more typically orients the garage onto common lanes or motorcourts. This residential type orients front doors onto neighborhood streets, common greenbelt or motorcourt areas.

Residential Attached Motorcourt Townhomes –

The Residential Attached Motorcourt Townhome is a home type designed to minimize the visual impact of the garage from local streets. Garages are oriented around a motor court with a common access to the local street. The front entry faces either a street or common open space areas. This home type can be developed on either a fee simple lot or condominium basis.

Residential Attached Paired Homes –

Residential Attached Paired home types consist of two units per building designed either on fee simple lots or as a condominium style building. Buildings may be oriented along local neighborhood streets or open spaces and greencourts. Garages may be oriented along public streets and designed to provide alternative garage types or may be oriented onto a common lane or motorcourt to de-emphasize visible garage doors.

Residential Attached Stacked Flats –

Residential Attached Stacked Flats are a home type within a multi-story building consisting of multiple units developed as condominium style housing. The units are often stacked over one another or stacked over parking spaces or garages. Development of these home types is encouraged to utilize private lanes or motor courts to minimize the visual impact of the garages onto local neighborhood streets.

Residential Attached Townhomes –

Residential Attached Townhomes are a home type consisting of four to 10 units designed with garages located at the rear of the building and with garage access provided from a lane. The design of Residential Attached Townhomes eliminates individual driveways and visible garage doors along local neighborhood streets. Townhomes may be designed as either air space condominiums or fee simple lot residential projects.

Residential Attached Triplex –

Residential Attached Triplexes are a home type consisting of three units per building. Triplex home types generally consist of three townhomes or two townhomes and a “carriage unit” over the three garages in one building which may utilize front loaded garages, but more typically, orient the garage onto lanes. Triplex homes are often designed to appear as paired homes or single family detached homes. Triplex homes can be developed either on a condominium or a fee simple lot basis.

Residential Land Use Area –

The total area as depicted on Exhibit 4-1, “Land Use Plan,” within the Specific Plan designated for development of residential single family detached and residential attached home types. Residential land use area includes manufactured slopes, fuel modification zones, publicly accessible and private trails, a public park site, private parks, emergency vehicle roadways, continued existing oil and gas production facilities pursuant to Montebello Municipal Code Section 17.44 and Chapter 5.52, and public and private roads and infrastructure facilities.

Residential Cluster Single Family Detached –

The Residential Cluster Single Family Detached configuration typically groups 4-8 homes together. Garages are generally accessed from a common lane or motorcourt removing garages from the local neighborhood street to de-emphasize visible garage doors and provide a pedestrian friendly street scene. This planning concept orients front doors onto a common motorcourt area creating a small cul de sac-like residential enclave. Residential Cluster Single Family Detached home types can be developed either on a fee simple lot or on a condominium basis.

Residential Cottage Single Family Detached –

Cottage lots are designed for single family homes with garages located at the rear of the lot and served from a lane. Cottage home types eliminate individual driveways and visible garage doors along local neighborhood streets and provide a pedestrian friendly street scene. Residential Cottage Single Family Detached home types can be developed either on a fee simple lot or on a condominium basis.

Residential Courtyard Single Family Detached –

The Residential Courtyard Single Family Detached home type is planned as 4 to 8 dwelling units oriented around a common courtyard or open space area. The front entry faces either a street or a common “courtyard” area. Garages are generally accessed from a common lane or motorcourt removing garages from the local neighborhood street. Residential Courtyard Single Family Detached home types can be developed either on a fee simple lot or on a condominium basis.

Residential Single Family Detached Estate Lots –

Residential Single Family Detached Estate Lots are intended for front garage-loaded, single family detached homes on lots with a minimum area of 6,000 square feet. Single Family Detached Estate home types are intended to include custom and luxury single family homes designed to provide a pedestrian friendly, varied streetscene by de-emphasizing the visibility of the garage along the street.

Residential Single Family Detached Conventional Lots –

Residential Single Family Detached Conventional lots are intended for front garage-loaded, single family detached homes with a minimum lot area of 3,150 square feet. The Residential Single Family Conventional home types emphasize architectural elements oriented toward the street and incorporate a mix of garage configurations and designs such as recessed garages, mid or deep recessed garages, split garages, and tandem garages.

Residential Two Pack Single Family Detached –

Residential Two Pack Single Family Detached home types (also referred to as Z-lots) are designed as two adjacent homes planned to optimize private yard areas and minimize the visual impact of the garage onto local streets. These lots are typically designed with a jog in the side property line with a Use and Benefit Easement across the side yard area allowing for the exclusive use of this area by a single property owner (see Use and Benefit Easement. A feature of the Two-Pack home type is that neighboring homes have alternating placement of garages that provides a deep recessed garage on every other lot de-emphasizing the visibility of the garage from the street.

Residential Three Pack Single Family Detached –

Similar to the Two-Pack Single Family Detached home type, the Three-Pack Single Family Detached home type is intended to optimize private yard areas and minimize the visual impact of views of the garage from local streets. Three adjacent homes are designed so that a deep recessed garage is located on one lot and either a split or side oriented garage is sited on the majority of the remaining lots to de-emphasize the visibility of the garage from the street.

Side Setback -

The minimum required distance between the foundation of a building and the closest side property line.

Side Yard Area –

The area between the side of the building and the adjacent side yard property line, excluding all areas forward and/or behind the respective front and rear face of the building.

Streetside Setback –

The minimum distance required between the foundation of a building to the back of a public or private sidewalk.

Use and Benefit Easement –

Areas within an individual residential lot, usually defined by a wall or fence, that are intended by design to be used by the owner of the adjoining residential lot. Such easements are often reciprocal easements common with residential home types, such as two-pack single family detached homes and cottage single family detached homes, and are not generally recorded easements as part of a subdivision map, but are generally referenced as part of recorded CC&R's.

Title 17 ZONING

Chapter 17.44 OIL AND GAS PRODUCTION DISTRICT

17.44.010 Purpose.

17.44.020 Superimposed nature--Designation--Precedence.

17.44.030 Principal permitted uses.

17.44.040 Property development standards.

17.44.050 Applicability.

17.44.010 Purpose.

The purpose of the oil and gas production (O) district shall be to allow the economic recovery of oil and gas in certain areas of the city which are or will be a part of a recognized oil and gas field but which are zoned for more restricted uses. The exploration for and production of oil and gas shall be permitted subject only to such limitations, safeguards and controls which are deemed necessary to protect the land values and surface uses of surrounding areas. (Prior code - 9253)

17.44.020 Superimposed nature--Designation--Precedence.

The O district shall be in the nature of a superimposed district. Land so classified shall also be classified in one or more other zones. Property so classified shall be delineated on the zoning map by a combination of the zone symbols (for example: M-1-O for light manufacturing and oil and gas production district). The regulations hereof shall be in addition to those regulations in the underlying zone. In the event of a conflict between the provisions hereof and the provisions of an underlying zone, the oil and gas production district provisions take precedence. (Prior code - 9253.1)

17.44.030 Principal permitted uses.

The following are the principal permitted uses in the oil and gas production district:

- A. Any use permitted in the underlying zone;
- B. The drilling, redrilling and servicing of oil and gas wells and related equipment.
(Prior code - 9253.2)

17.44.040 Property development standards.

Property development standards set forth in the underlying zones shall apply, except that the standards shall not apply to the exploration or the drilling, production, extraction, storing or removal of oil and gas; provided that the uses are in compliance with the provisions of Chapter 5.52 of this code. (Ord. 2070 - 34, 1992: prior code - 9253.3)

17.44.050 Applicability.

The provisions hereof shall not be applicable to any property unless the commission and council have conducted public hearings, and made the findings required in a zone reclassification matter. (See Chapter 17.76 of this code, zone change process.) (Prior code - 9253.4)

